ARCHITECTURAL DRAWING LIST

MILPERRA VILLAGE

PROPOSED RETIREMENT LIVING APARTMENTS & RESIDENTIAL AGED CARE ACCOMMODATION AT 27 BULLECOURT AVENUE, MILPERRA (161 ON DP 752013)

PROPOSED DEVELOPMENT INCLUDES:

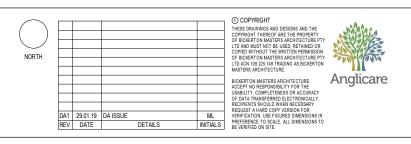
-107 BED RESIDENTIAL AGED CARE ACCOMMODATION BUILDING -81 INDEPENDENT RETIREMENT LIVING APARTMENTS -COMMUNITY SPACES -LANDSCAPED GARDENS -SECURE CAR PARKING FOR RESIDENTS & STAFF -EXTERNAL VISITORS CAR PARKING

VIEW FROM NORTH EAST



RC BUILDING	
DA.RC.01	RC BL
DA.RC.02	RC BL
DA.RC.03	RC BL
DA.RC.04	RC BL
DA.RC.05	RC BI
DA.RC.11	RC BL
DA.RC.12	RC BI
DA.RC.13	RC BI
DA.RC.21	RC BL

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DA.RC.13 DA.RC.21	RC BUILDING - SECTIONS RC BUILDING AREAS - GFA & OPEN SPACE	DA1 DA1
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	I LIVING APARTMENT BUILDINGS	
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DA.RL402 DA.RL403	APARTMENT VENTILATION STRATEGY DIAGRAMS	DA1





CLIENT: ANGLICARE (ACS), SYDNEY

PROJECT: MILPERRA VILLAGE

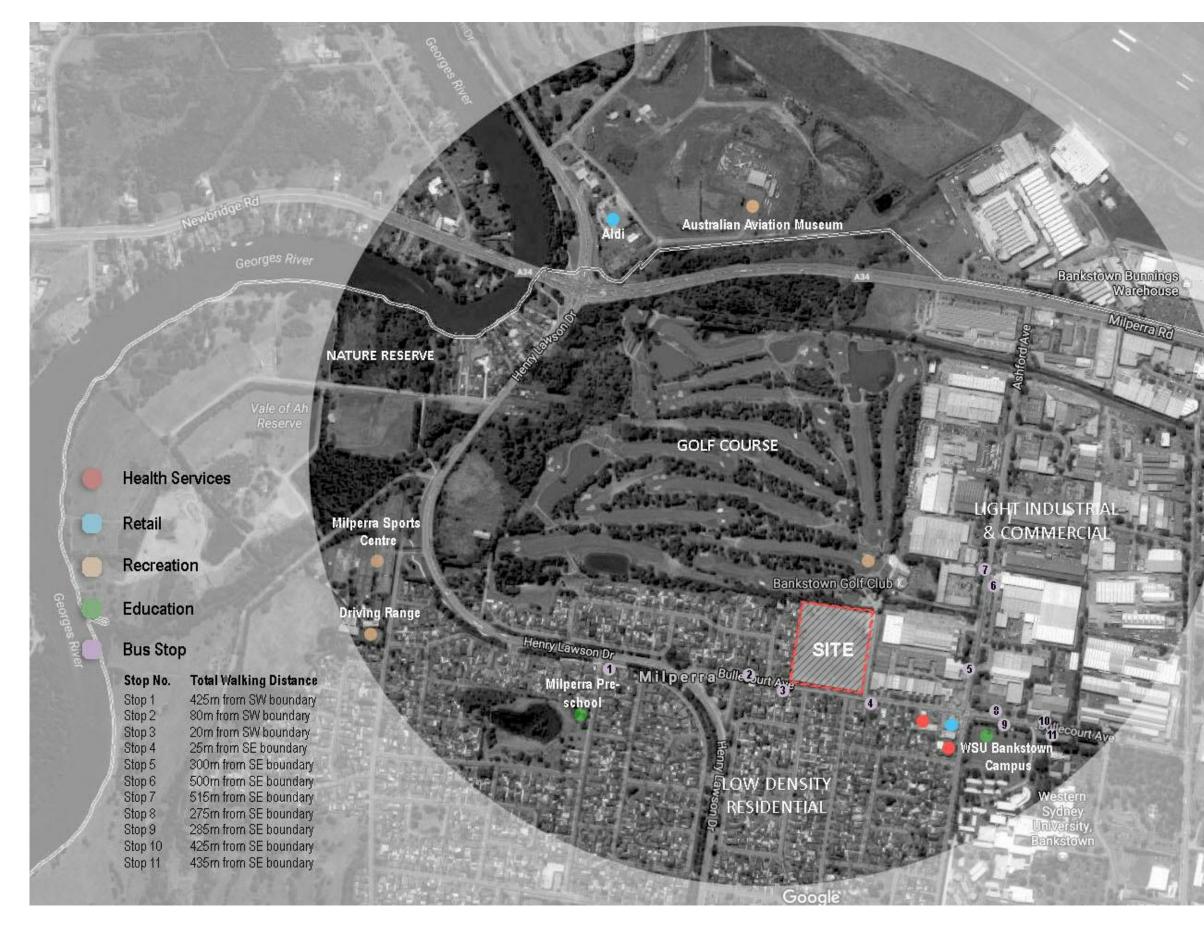
BULLECOURT AVENUE, MILPERRA

DRAWING TITLE: SITE - COVER

DATE SCALE: JAN 29, 2019 @A1 FILE : 973_DA2_SITE_Central.rvt drawing: DA.S.00 PROJ: REVISION: 973 DA1

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	DA1	29.01.19	DA ISSUE	ML	VERIFICATION. USE FIGURED DIMENSIONS IN	
	REV	DATE	DETAILS	INITIALS	PREFERENCE TO SCALE. ALL DIMENSIONS TO BE VERIFIED ON SITE.	

Bankstown Airport

> Bankstown Lidcombe Hospital 5km

Woolworths and Coles Supermarket 4.5km

BM

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CLIENT: ANGLICARE (ACS), SYDNEY

PROJECT: MILPERRA VILLAGE

BULLECOURT AVENUE, MILPERRA

DRAWING TITLE: SITE - LOCALITY/CONTEXT

DATE: JAN 29, 20 FILE : 973 DA2	DRAWN: 19 SITE_Central.rvt	SCALE: @A1 CHECKED
PROJ:	DRAWING:	REVISION:
973	DA.S.01	DA1



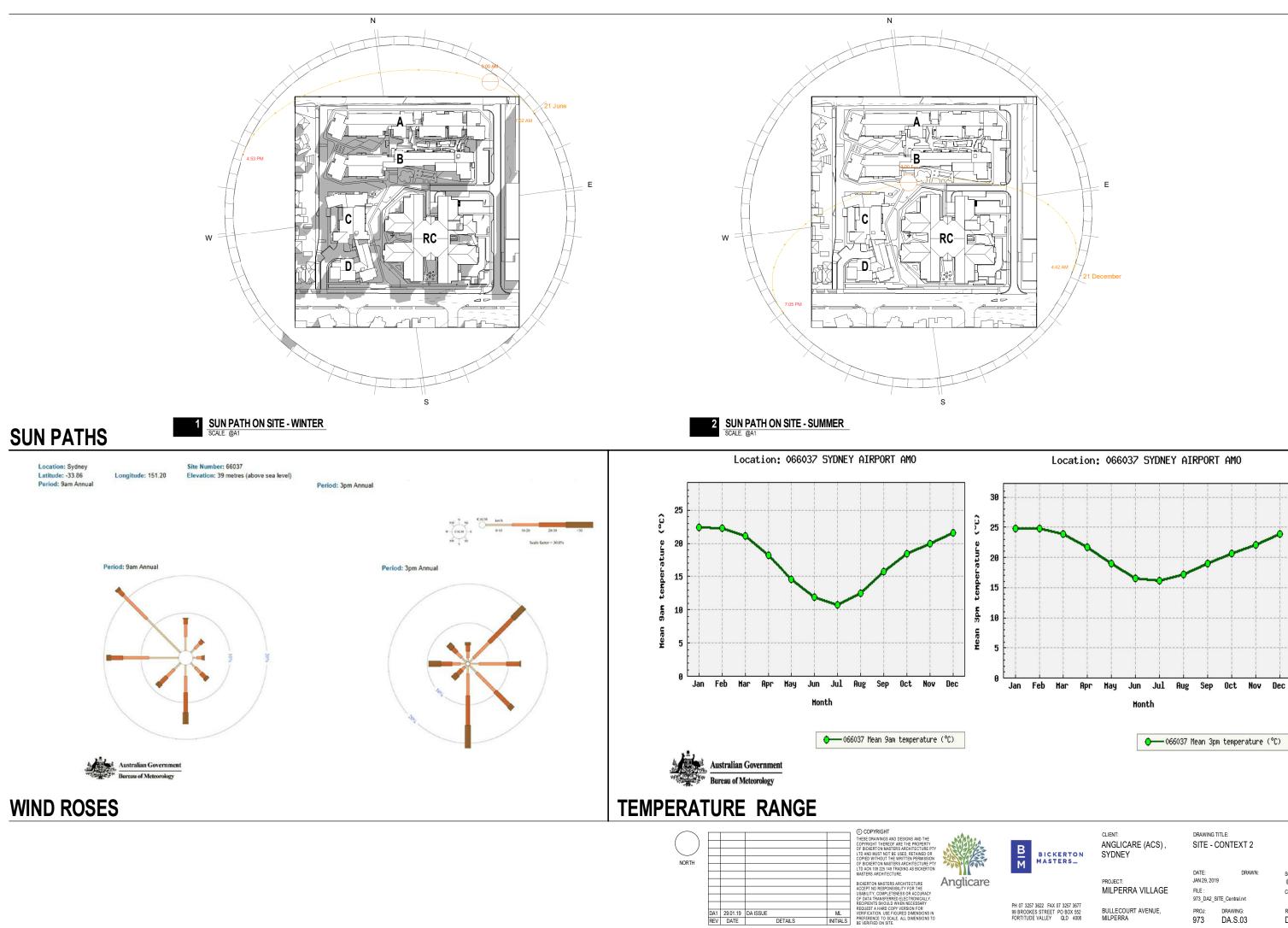
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BULLECOURT AVENUE, MILPERRA

973 DA.S.02 DA1



SCALE: @A1 CHECKED: REVISION: DA1





BULLECOURT AVENUE STREETSCAPE - EAST OF SITE





BULLECOURT AVENUE - WEST AND CENTRE OF SITE

CORNER OF SITE



PHOTO SHOWING EXISTING TREES ON BULLECOURT AVE VERGE

EDGE OF SITE

EDGE OF SITE





EAST SIDE OF ADJACENT 2 STOREY DUPLEX

WAREHOUSES EAST OF SITE





CORNER OF SITE



NORTH END OF BULLACOURT LANE WITH SITE ON RIGHT OF IMAGE

NORTH

DA1 29.01.19 DA ISSUE REV DATE



DETAILS

COPYRIGH

ML

INITIALS

CKERTON MASTERS ARCHITE

PREFERENCE TO SCAL

EAST CORNER OF BULLECOURT AVENUE + BULLECOURT LANE





PHOTO SHOWING EXISTING TREES ON BULLECOURT AVE VERGE



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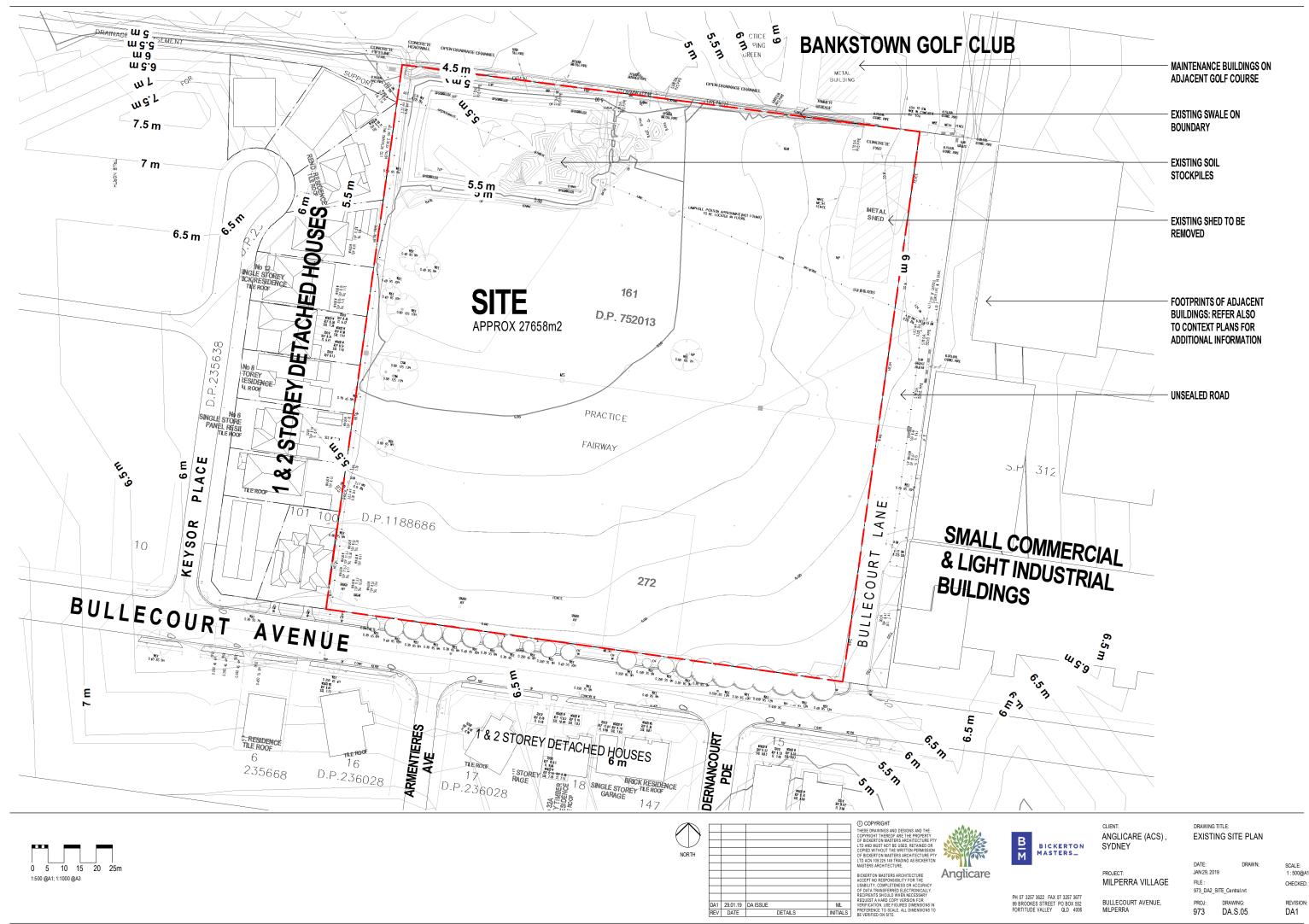
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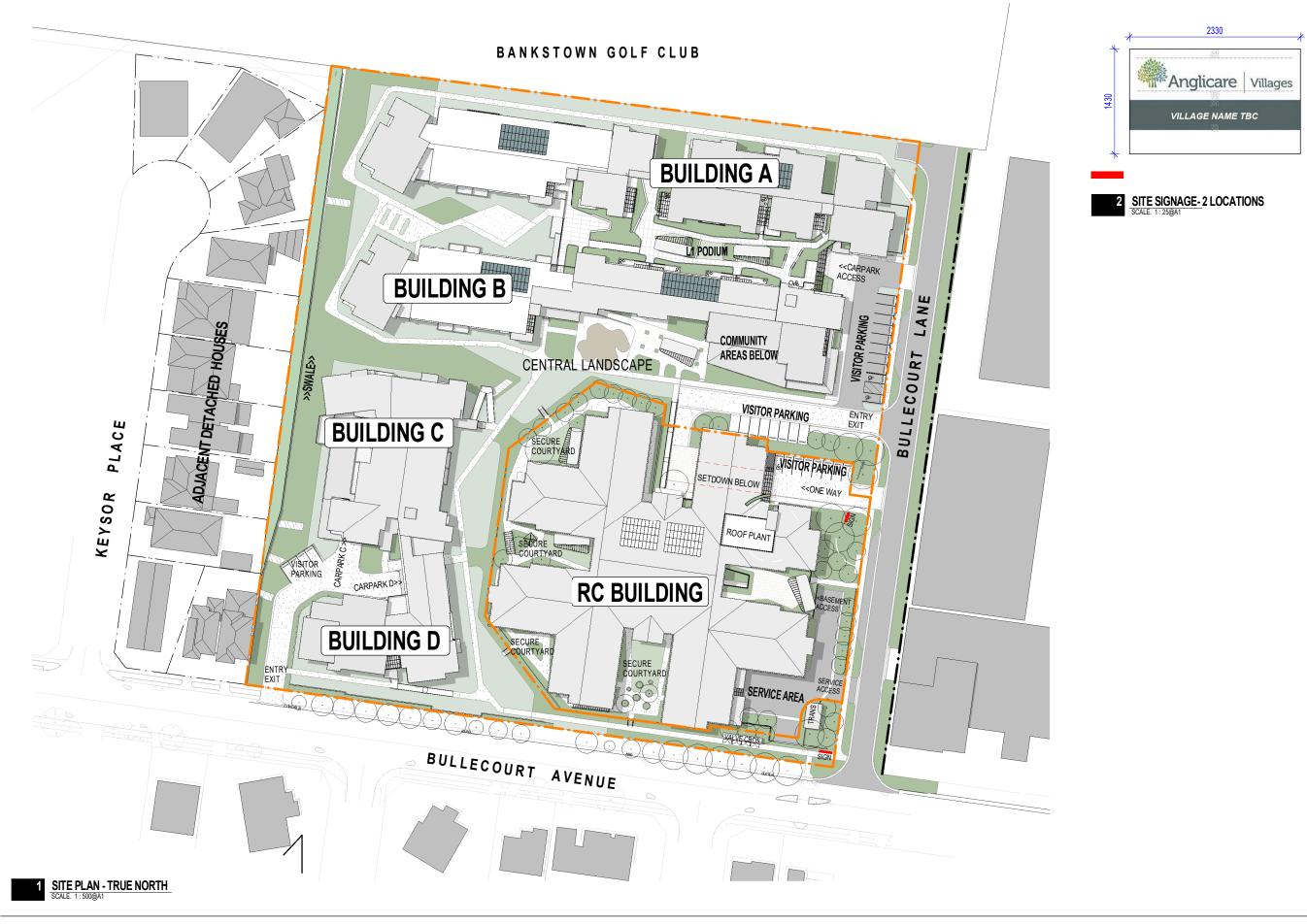
PROJECT: MILPERRA VILLAGE

BULLECOURT AVENUE, MILPERRA

DRAWING TITLE: SITE PHOTOGRAPHS - SITE & SURROUNDS

DATE:	DRAWN:	SCALE:
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FILE : 973_DA2_	_SITE_Central.rvt	CHECKED:
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973	DA.S.04	DA1





YIELD - RAC BUILDING	CURRENT AS OF 24/01/2019 YIELD - R	APARTMENTS	CURRENT AS OF 24/01/2019	SITE - DE	EP SOIL I	PLANTING	& OPEN SPACE		\bigwedge					© COPYRIGHT THESE DRAWINGS AND DESIGNS AND THE COPYRIGHT THEREOF ARE THE PROPERTY OF BICKERTON MASTERS ARCHITECTURE PTY	
SITE AREA 7,584m² FSR 0.92:1 (SEPP SE	NIORS) SITE AREA FSR	20,074m2 0.49:1 (SEPP SENIORS)			RES CARE	RET LIVING	SITE TOTAL		NORTH					LTD AND MUST NOT BE USED, RETAINED OR COPIED WITHOUT THE WRITTEN PERMISSION OF BICKERTON MASTERS ARCHITECTURE PTY	
GFA 6970m2 (SEPP S 6568m2 (LEP DE	FINITIOŃ)	9917m ² (SEPP SENIORS) 9422m ² (LEPP DEFINITION)		SITE AREA	7,584m2	20,074m2	27,658m2							LTD ACN 109 225 149 TRADING AS BICKERTON MASTERS ARCHITECTURE.	T
NUMBER OF BEDS 107 BEDS IN 6 H	OUSES APARTMENT LIVI			DEEP SOIL PLANTING			7.000m2 (APPROX 25%)							BICKERTON MASTERS ARCHITECTURE ACCEPT NO RESPONSIBILITY FOR THE USABILITY, COMPLETENESS OR ACCURACY	glicare
Refer to separate site diagrams for deep soil p			7 46		0.7000 (000)	0.5000 (40%)	, (· · ·)							OF DATA TRANSFERRED ELECTRONICALLY. RECIPIENTS SHOULD WHEN NECESSARY REQUEST A HARD COPY VERSION FOR	
Refer to DA.RC.21 for Residential Care Site A for Apartment Building Site Measures	ea Measures and DA. RL. 401 LIVING SITE	3 BED APARTMENTS TOTAL APARTMENTS	28 81	UPEN SPACE	2,720m2 (36%)) 8,500m2 (42%)	11,300m2 (APPROX 41%)	0 5 10 15 1:500 @A1; 1:1000 @A3	20 25m	DA1 29 REV E	01.19 D. ATE	A ISSUE DETAILS	ML INITIALS	VERIFICATION. USE FIGURED DIMENSIONS IN PREFERENCE TO SCALE. ALL DIMENSIONS TO BE VERIFIED ON SITE.	



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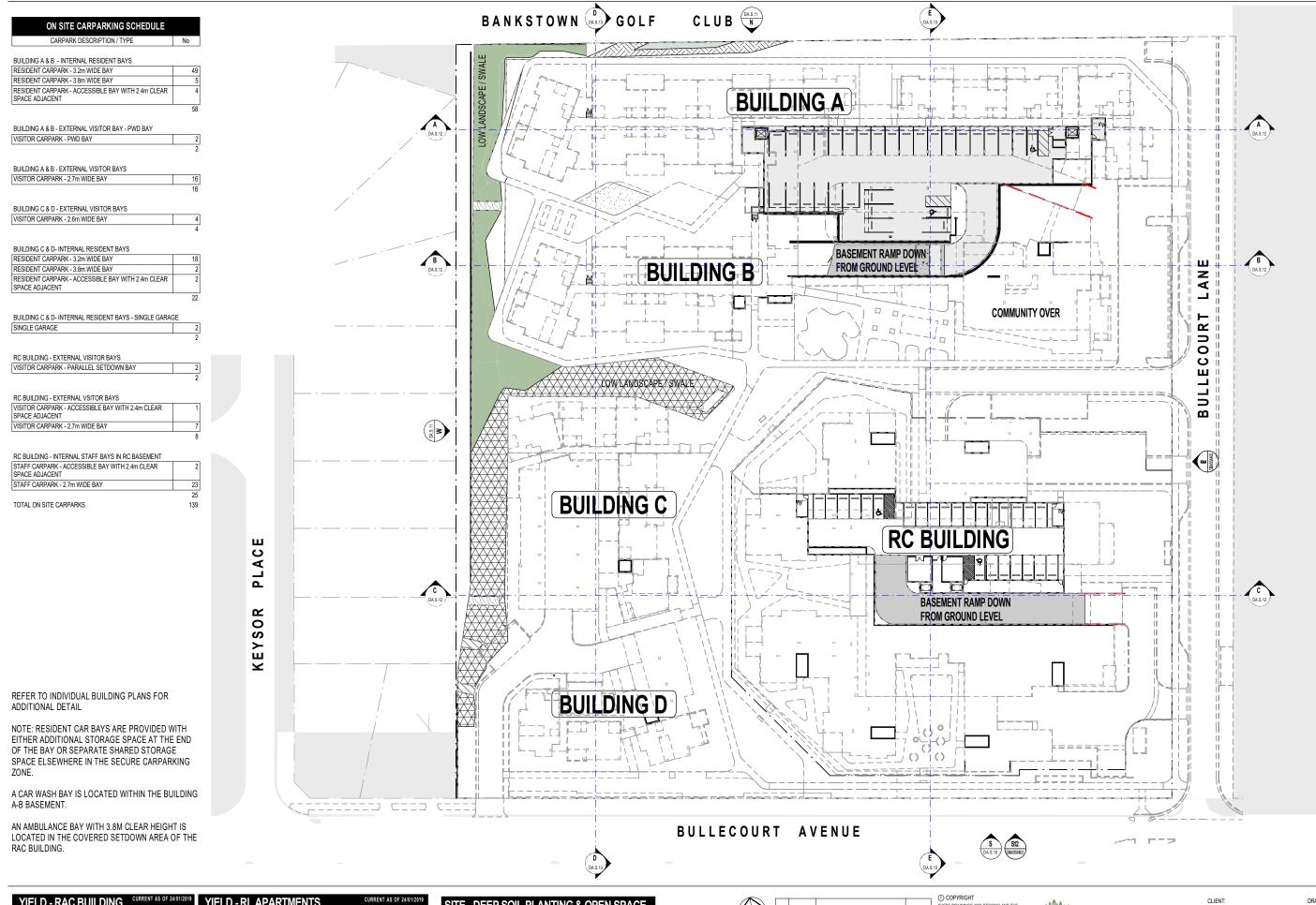
PROJECT: MILPERRA VILLAGE

BULLECOURT AVENUE, MILPERRA DRAWING TITLE: SITE - OVERALL SITE PLAN -TRUE NORTH ORIENTATION

SCALE: As indicated@A CHECKED:

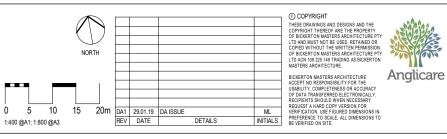
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YIELD - RACI	BUILDING	YIELD - RL AF	PARIMENTS	CORRENT AS	01 24
SITE AREA	7,584m ²	SITE AREA	20,074m2		
FSR	0.92:1 (SEPP SENIORS)	FSR	0.49:1 (SEPP SENIORS)		
GFA	6970m2 (SEPP SENIORS)	GFA	9917m ² (SEPP SENIORS)		
	6568m2 (LEP DEFINITION)		9422m ² (LEPP DEFINITION)		
NUMBER OF BEDS	107 BEDS IN 6 HOUSES	APARTMENT LIVING			
Defer is seconds site discu	and for door soil election & seen areas	TOTAL DWELLINGS /	1 BED APARTMENTS	7	
, ,		GFA IN RETIREMENT	2 BED APARTMENTS	46	
		LIVING SITE	3 BED APARTMENTS	28	
for Apartment Building Site	Measures		TOTAL APARTMENTS	81	
	SITE AREA FSR GFA NUMBER OF BEDS Refer to separate site diagr Refer to DA.RC.21 for Resi	YIELD - RAC BUILDING SITE AREA 7,584m² FSR 0.92.1 (SEPP SENIORS) GFA 6970m2 (SEPP SENIORS) 6668m2 (LEP DEFINITION) 6668m2 (LEP DEFINITION)	SITE AREA 7.584m² SITE AREA FSR 0.92:1 (SEPP SENIORS) FSR GFA 6970m2 (SEPP SENIORS) GFA GS68m2 (LEP DEFINITION) APARTMENT LIVING NUMBER OF BEDS 107 BEDS IN 6 HOUSES Refer to separate site diagrams for deep soil planting & open space TOTAL DWELLINGS / GFA IN RETIREMENT Refer to DA. RC. 21 for Residential Care Site Area Measures and DA. RL. 401 UNING SITE	SITE AREA 7,584m² SITE AREA 20,074m2 FSR 0.92:1 (SEPP SENIORS) FSR 0.49:1 (SEPP SENIORS) GFA 6970m2 (SEPP SENIORS) GFA 9917m² (SEPP SENIORS) MUMBER OF BEDS 107 BEDS IN 6 HOUSES APARTMENT LIVING Refer to separate site diagrams for deep soil planting & open space TOTAL DWELLINGS / GFA IN RETIREMENT 1 BED APARTMENTS Refer to DA.RC.21 for Residential Care Site Area Measures and DA.RL401 1 UVING SITE 3 BED APARTMENTS	SITE AREA 7.584m² SITE AREA 20.074m2 FSR 0.92.1 (SEPP SENIORS) FSR 0.49.1 (SEPP SENIORS) GFA 6970m2 (SEPP SENIORS) GFA 9917m² (SEPP SENIORS) MUMBER OF BEDS 107 BEDS IN 6 HOUSES APARTMENT LIVING APARTMENT LIVING Refer to separate site diagrams for deep soil planting & open space TOTAL DWELLINGS / CFA IN RETIREMENT 1 BED APARTMENTS 46 LIVING SITE 3 BED APARTMENTS 28

SITE - DE	EP SOIL P	LANTING	& OPEN SPACE
	RES CARE	RET LIVING	SITE TOTAL
SITE AREA	7,584m2	20,074m2	27,658m2
DEEP SOIL PLANTING			7,000m2 (APPROX 25%)
OPEN SPACE	2,720m2 (36%)	8,500m2 (42%)	11,300m2 (APPROX 41%)





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PRO.IECT MILPERRA VILLAGE

BULLECOURT AVENUE, MILPERRA

DRAWING TITLE: SITE PLAN - BASEMENT LEVELS

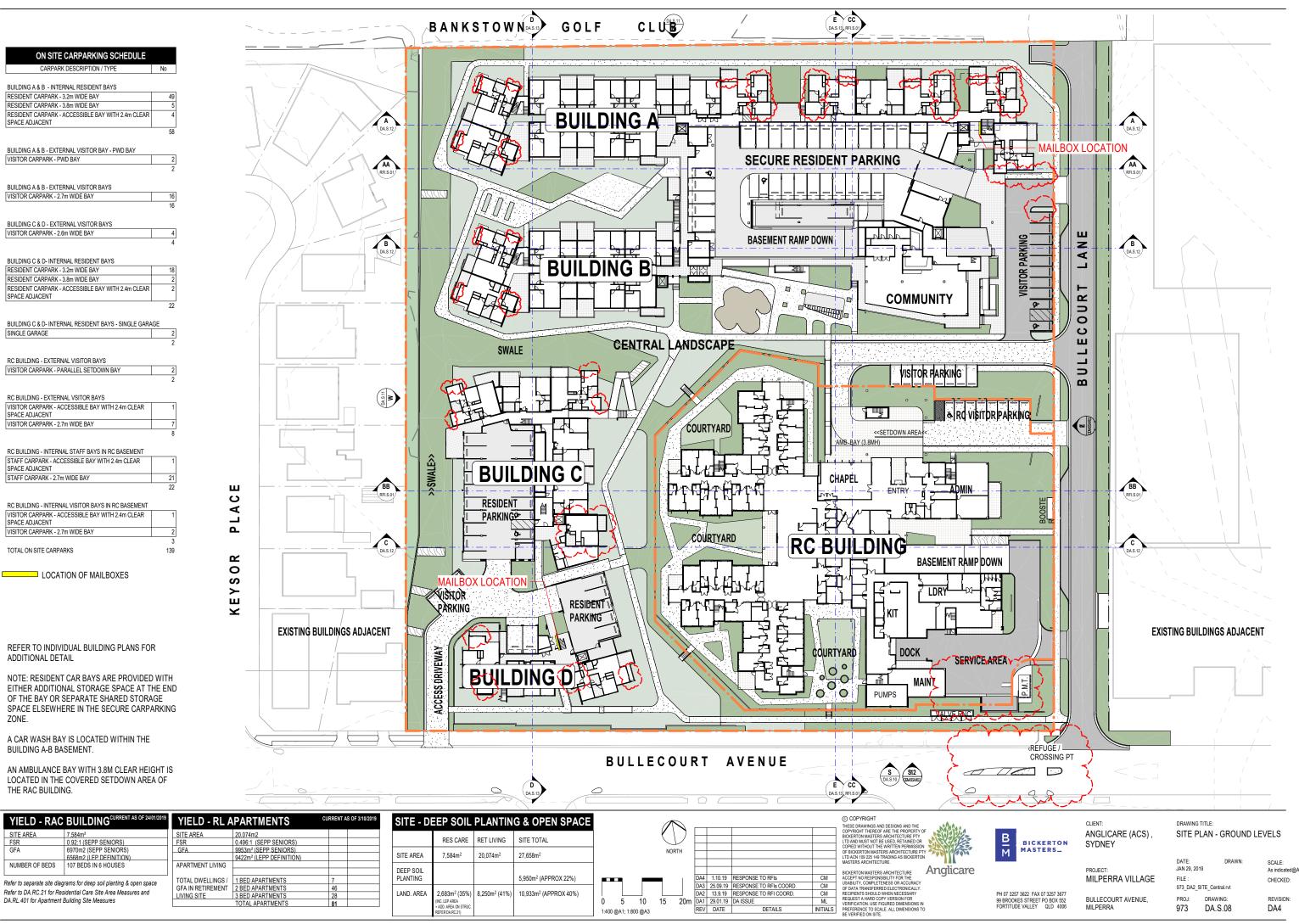
DATE: JAN 29, 2019 FILE : 973_DA2_SITE_Central.rvt PROJ: DRAWING 973 DA.S.07

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Refer to DA.RC.21 for Residential Care Site Area Measures and DA.RL.401 for Apartment Building Site Measures

SITE AREA

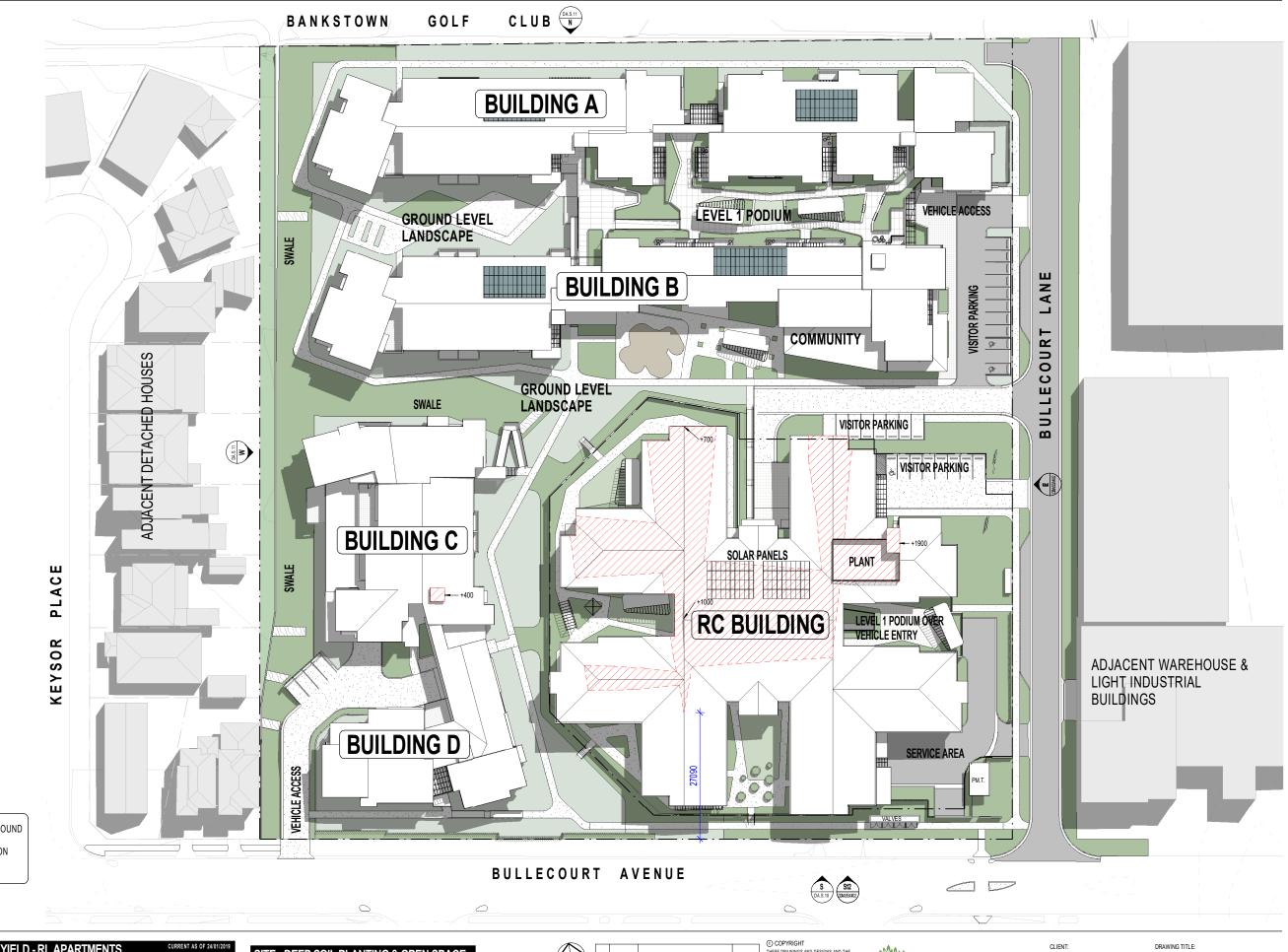
GFA

OF THE BAY OR SEPARATE SHARED STORAGE SPACE ELSEWHERE IN THE SECURE CARPARKING ZONE.

A CAR WASH BAY IS LOCATED WITHIN THE BUILDING A-B BASEMENT.

AN AMBULANCE BAY WITH 3.8M CLEAR HEIGHT IS LOCATED IN THE COVERED SETDOWN AREA OF THE RAC BUILDING.

3/10/2019 11:27:05 AM



SECTION OF ROOF >9m ABOVE NATURAL GROUND REFER ALSO TO HEIGHT PLANE DIAGRAMS ON DRAWINGS DA.S.15

YIELD - RAC	CURRENT AS OF 24/01/2019	YIELD - RL A	PARIMENIS	CURRENT AS OF 24/01/2019	SITE - DE	EP SOIL P	LANTING	& OPEN SPACE			$\searrow \vdash$			+	© COPYRIGHT THESE DRAWINGS AND DESIGNS AND THE COPYRIGHT THEREOF ARE THE PROPERTY
SITE AREA	7,584m ²	SITE AREA	20,074m2											+	OF BICKERTON MASTERS ARCHITECTURE LTD AND MUST NOT BE USED. RETAINED C
FSR	0.92:1 (SEPP SENIORS)	FSR	0.49:1 (SEPP SENIORS)			RES CARE	RET LIVING	SITE TOTAL		_					COPIED WITHOUT THE WRITTEN PERMISS
GFA	6970m2 (SEPP SENIORS)	GFA	9917m ² (SEPP SENIORS)			1120 0/112	1121 211110	0112 101112		NOF	ETH			+	OF BICKERTON MASTERS ARCHITECTURE LTD ACN 109 225 149 TRADING AS BICKER
	6568m2 (LEP DEFINITION)		9422m ² (LEPP DEFINITION)		SITE AREA	7.584m2	20.074m2	27,658m2						+ +	MASTERS ARCHITECTURE.
NUMBER OF BEDS	107 BEDS IN 6 HOUSES	APARTMENT LIVING			UTE / THE T	1,001	20,07 1112	21,000112						+	BICKERTON MASTERS ARCHITECTURE
					DEEP SOIL						. –			+	ACCEPT NO RESPONSIBILITY FOR THE
ofor to concrete site dia	aroma for doop and planting f apar apara	TOTAL DWELLINGS /	1 BED APARTMENTS	7	PLANTING			7,000m2 (APPROX 25%)						+	USABILITY, COMPLETENESS OR ACCURAC OF DATA TRANSFERRED ELECTRONICALL
	agrams for deep soil planting & open space	GFA IN RETIREMENT	2 BED APARTMENTS	46										+	RECIPIENTS SHOULD WHEN NECESSARY
	esidential Care Site Area Measures and DA.RL.401	LIVING SITE	3 BED APARTMENTS	28	OPEN SPACE	2,720m2 (36%)	8.500m2 (42%)	11,300m2 (APPROX 41%)	0 5 10	15	20m DA1	29.01.19	DAISSUE	MI	REQUEST A HARD COPY VERSION FOR VERIFICATION. USE FIGURED DIMENSIONS
or Apartment Building Si	ite Measures		TOTAL APARTMENTS	81		(,		,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	1:400 @A1; 1:800 @A3	10	REV		DETAILS	INITIALS	



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PROJECT: MILPERRA VILLAGE

BULLECOURT AVENUE, MILPERRA DRAWING TITLE: SITE PLAN - ROOFS

 DATE:
 DRAV

 JAN 29, 2019
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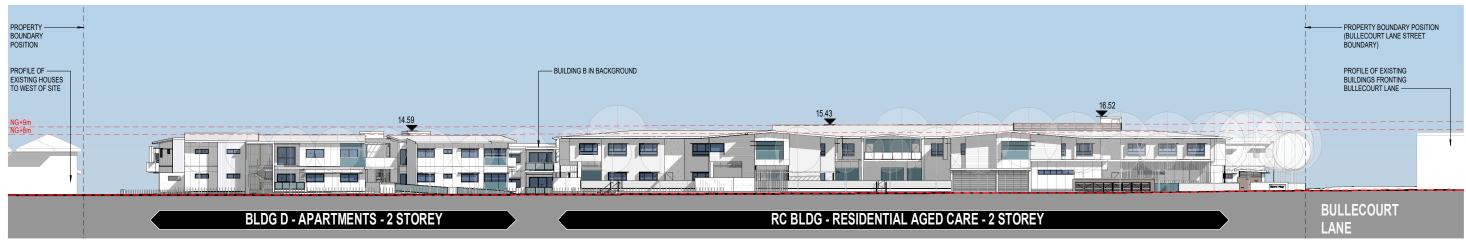
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 DA.S.09

SCALE: As indicated@A CHECKED:

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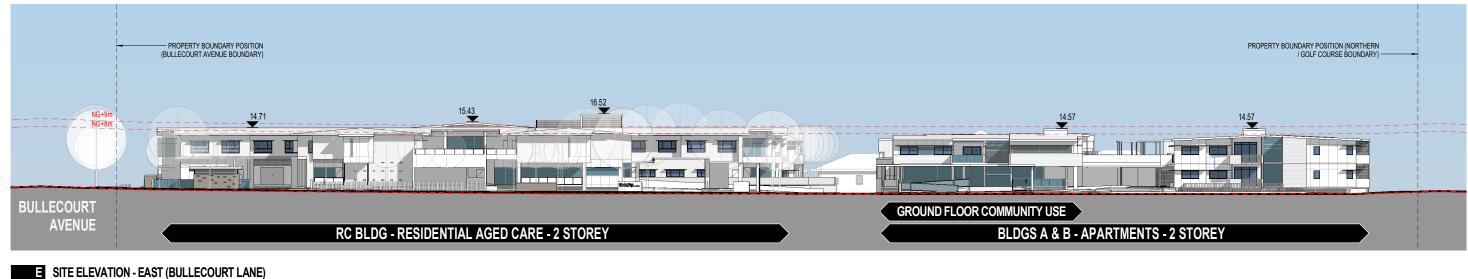


SITE ELEVATION - SOUTH (BULLECOURT AVENUE) S

REFDA.S.07 SCALE. 1 : 250(



S.2 SITE ELEVATION - SOUTH (BULLECOURT AVENUE) WITH EXISTING TREES REFDA 5.07 SCALE. 1: 250@A1



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PRO.IECT MILPERRA VILLAGE

BULLECOURT AVENUE, MILPERRA

DRAWING TITLE: SITE ELEVATIONS 1

DATE

FILE :

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SCALE: 1:250@A1 CHECKED:

REVISION:

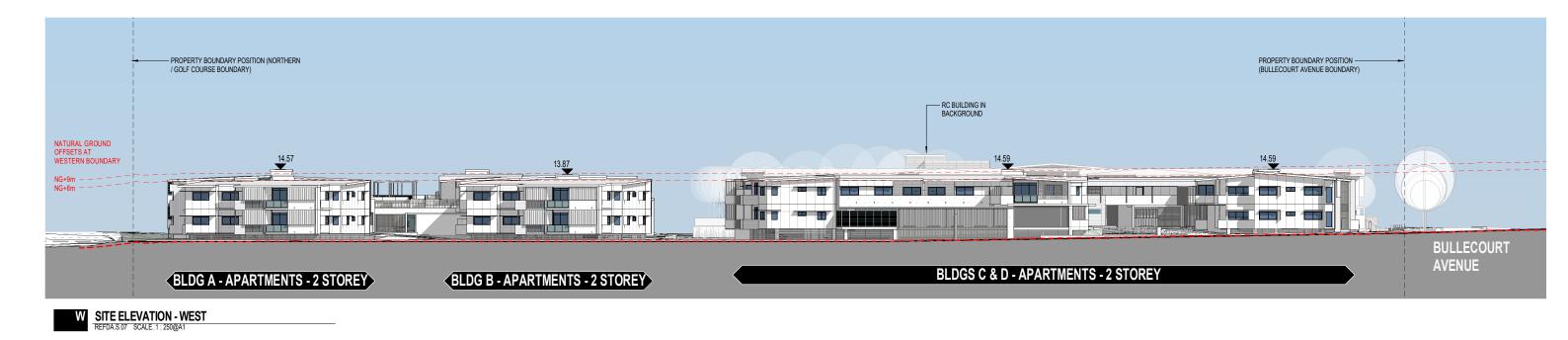
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SITE ELEVATION - NORTH (FACING GOLF COURSE) DA.S.07 SCALE 1:250@/





DRAWING TITLE: SITE ELEVATIONS 2

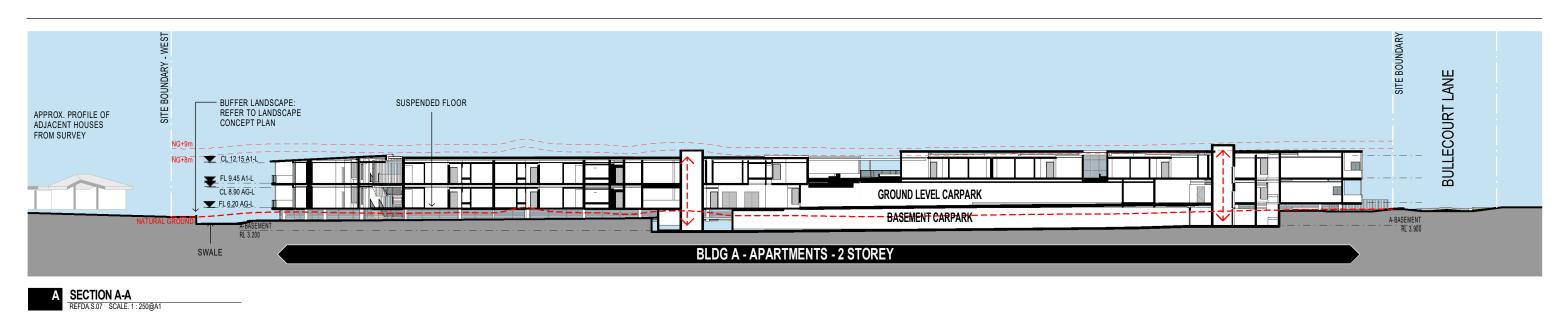
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SCALE: 1:250@A1 CHECKED:

REVISION:

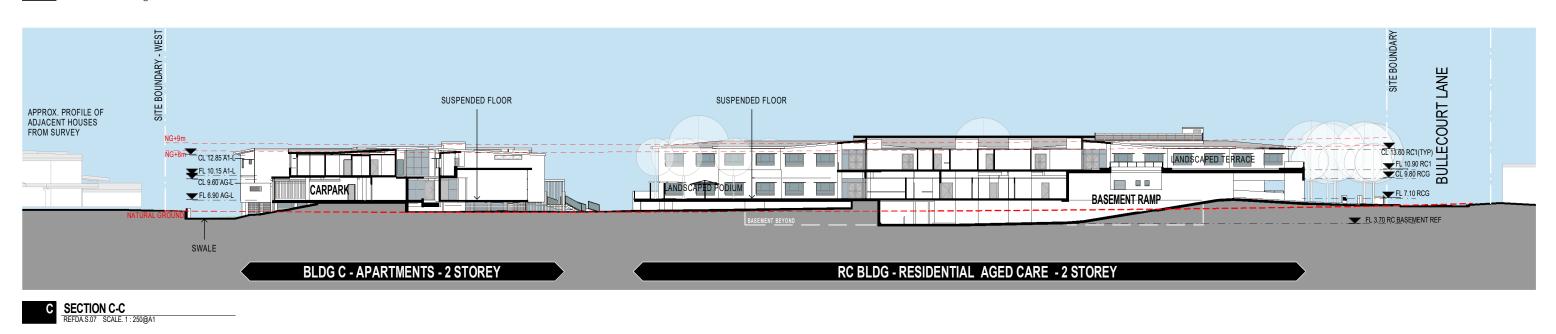
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B SECTION B-B REFDA.S.07 SCALE. 1 : 250@A1



 0 1 2 5 10 15m
 10 15m

 1250 @A1; 1:500 @A3
 10 15m



CLIENT: ANGLICARE (ACS), SYDNEY

PROJECT: MILPERRA VILLAGE

BULLECOURT AVENUE, MILPERRA

DRAWING TITLE: SITE SECTIONS 1

DATE: JAN 29, 20	19	DRAWN: NAH	
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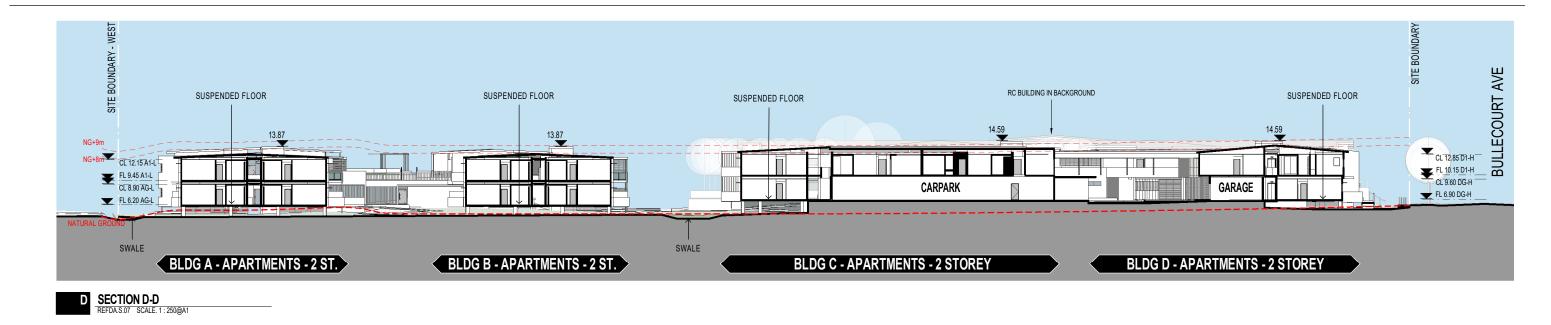
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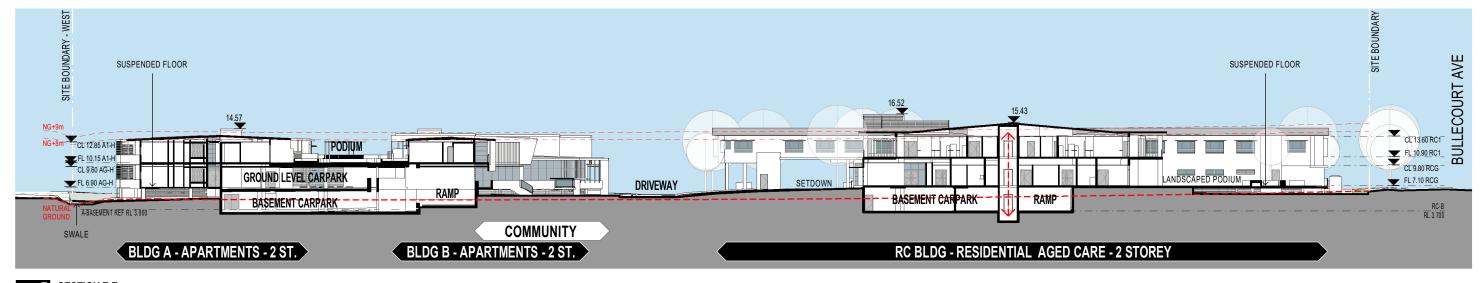
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BECTION E-E REFDA.S.07 SCALE. 1 : 250@A

012 5

1:250 @A1; 1:500 @A3

10

	BLDG A/B - LOW		BLDG A/B - HIGH		BUILDING C		BUILDING D		RC BUILDING			A/B - LOW		A/B - HIGH		BUILDING C		BUILDING D		RC BUILDING	
LEVEL	FLOOR RL	CEILING	FLOOR RL	CEILING	FLOOR RL	CEILING	FLOOR RL	CEILING	FLOOR RL	CEILING		LOW	HIGH	LOW	HIGH	LOW	HIGH	LOW	HIGH	LOW	HIGH
BASEMENT REFERENCE	3.200	N/A	3.900	N/A	N/A	N/A	N/A	N/A	3.700	N/A	NATURAL GROUND	4.8	5.0	5.0	6.0	4.85	5.3	5.3	6.0	5.1	6.3
LOWER /GROUND LEVEL	6.200	8.900	6.900	9.600	6.900	9.600	6.900	9.600	7.100	9.800	RL OF UPPER LEVEL	12.15		12.85		12.85		12.85		13.6	
UPPER LEVEL	9.450	12.150	10.150	12.850	10.150	12.850	10.150	12.850	10.900	13.600	CEILING										
			TO LIVING TO KITCHE			2700mm 2400mm					MAX. APARTMENT CEILING HEIGHT ABOVE NATURAL GROUND	7.35m	1	7.85m		8.0m		7.55m		8.5m	

	BUILDING A		BUILDING B		BUILDING C		BUILDING D		RC BUILDING	
	MAIN ROOF	LIFT	MAIN ROOF	LIFT	MAIN ROOF	LIFT	MAIN ROOF	LIFT	MAIN ROOF	STAIR
HIGHEST POINT ON ROOF	RL 13.800	RL 14.57	RL 13.800	RL 14.57	RL13.900	RL14.59	RL14.400	RL14.59	RL 15.430	RL 16.52
GREATEST HEIGHT ABOVE NATURAL GROUND	8.75m		8.85m		9.10m @ lift (NAT. GROUND IS APPROX RL 5.49 AT THIS LOCATION)		8.60m		10.85m @ STAIR (NAT. GROUND IS APPROX RL 5.67 AT THIS LOCATION)	

Because the natural ground levels vary beneath the footprint of the building, the highest point of the building is not necessarily the point at which the building is highest above the natural ground. Refer also to height plane diagrams on drawing DA.S.16



CLIENT: ANGLICARE (ACS), SYDNEY

PRO.IECT MILPERRA VILLAGE

BULLECOURT AVENUE, MILPERRA

DRAWING TITLE: SITE SECTIONS 2

DATE DRAW JAN 29, 2019 NAH

DRAWING

DA.S.13

SCALE: 1:250@A1 CHECKED:

REVISION:

DA1

973_DA2_SITE_Central.rvt PROJ: 973

FILE :

29/01/2019 6:57:00 PM



DA1 29.01.19 DA ISSUE REV DATE

DETAILS

5 10 15 20m

1:400 @A1; 1:800 @A3

ANGLICARE (ACS),

MILPERRA VILLAGE

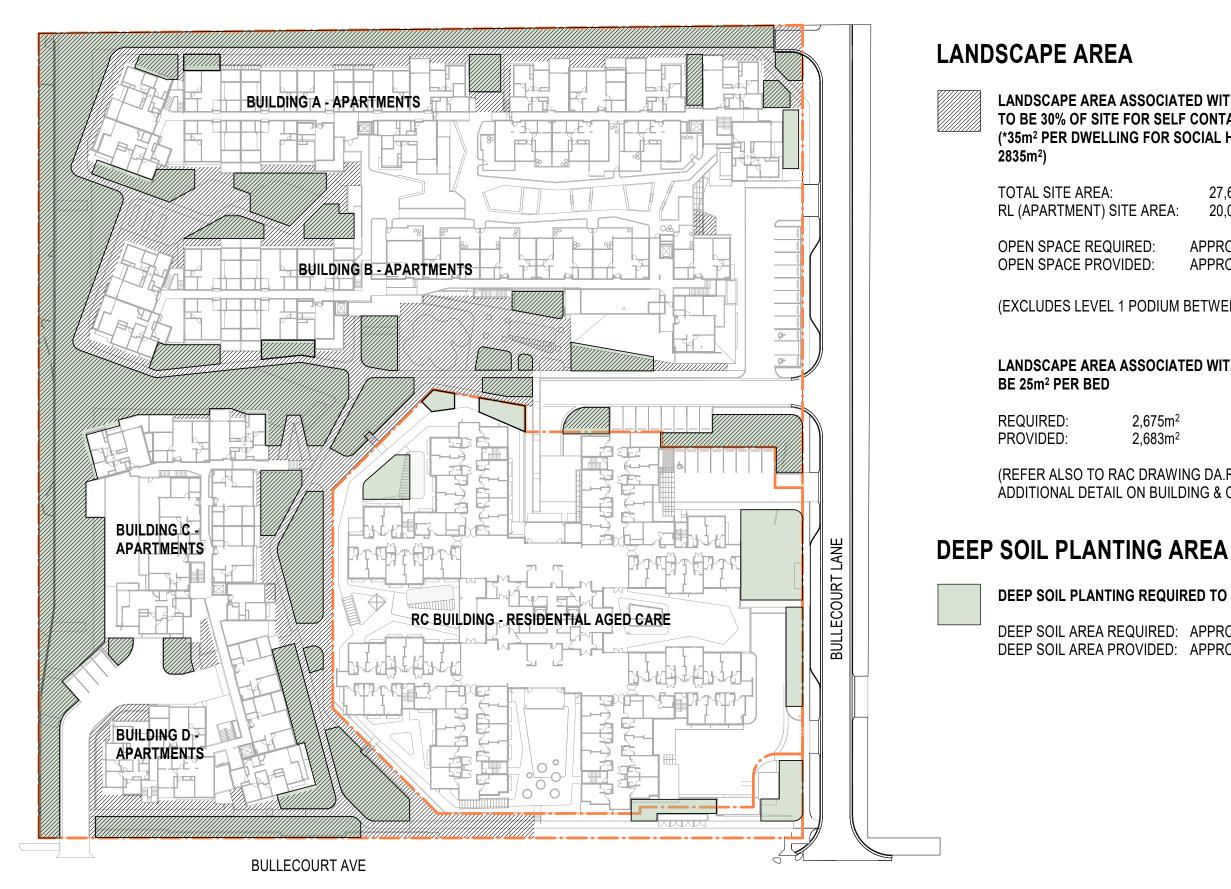
DRAWING TITLE: SITE PLAN - BUILDING SETBACKS & SPACING

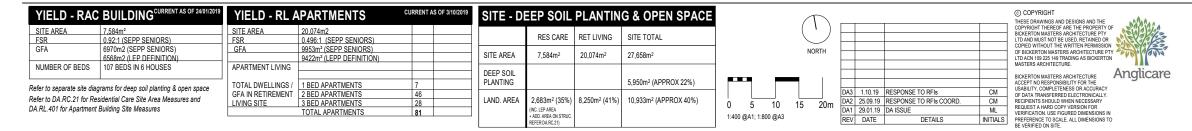
DATE SCALE: JAN 29, 2019 1:400@A1 FILE : CHECKED: 973_DA2_SITE_Central.rvt drawing: DA.S.14 PROJ: REVISION: 973 DA1

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BULLECOURT AVENUE, MILPERRA





LANDSCAPE AREA ASSOCIATED WITH APARTMENTS REQUIRED TO BE 30% OF SITE FOR SELF CONTAINED ACCOMMODATION. (*35m² PER DWELLING FOR SOCIAL HOUSING PROVIDER=

- 27,658m² 20,074m²
- APPROX 2835m² APPROX 8,250m²
- (EXCLUDES LEVEL 1 PODIUM BETWEEN BUILDINGS A & B)

LANDSCAPE AREA ASSOCIATED WITH RAC REQUIRED TO

2,675m² 2.683m²

(REFER ALSO TO RAC DRAWING DA.RC.21 FOR **ADDITIONAL DETAIL ON BUILDING & OPEN SPACE AREAS)**

DEEP SOIL PLANTING REQUIRED TO BE 15% OF SITE.

DEEP SOIL AREA REQUIRED: APPROX 4,149m² DEEP SOIL AREA PROVIDED: APPROX 5,950m²



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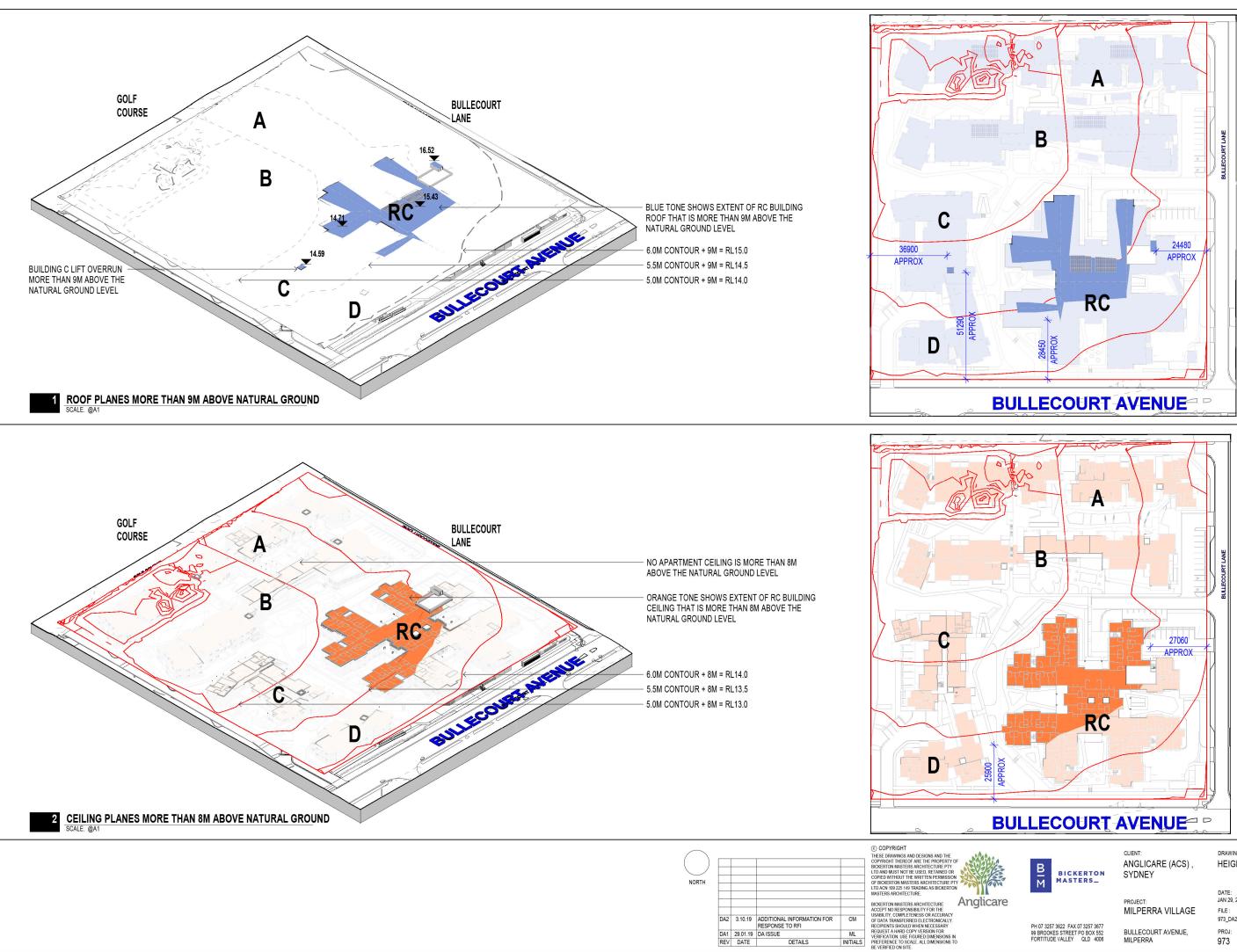
CLIENT: ANGLICARE (ACS), SYDNEY

PROJECT. MILPERRA VILLAGE

BULLECOURT AVENUE, MILPERRA

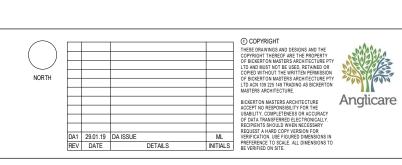
DRAWING TITLE: LANDSCAPE & OPEN SPACE AREAS

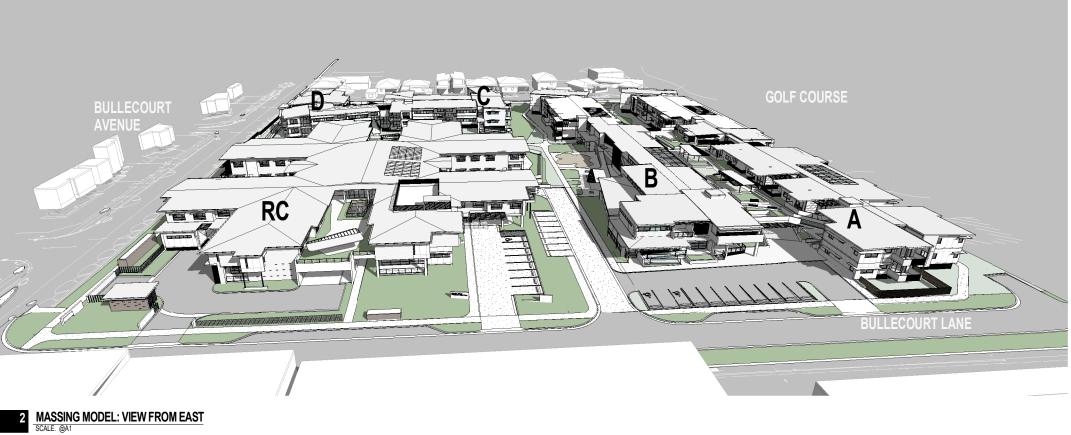
DATE SCALE JAN 29, 2019 As indicated@A FILE CHECKED: 973_DA2_SITE_Central.rvt PRO.I DRAWING REVISION 973 DA.S.15 DA3



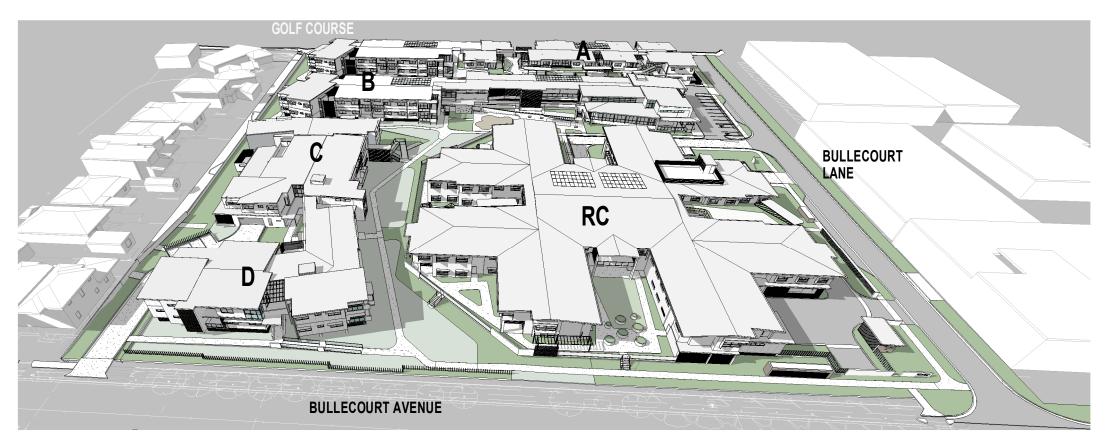
DRAWING TITLE: HEIGHT PLANE DIAGRAMS

DATE:	DRAWN:	SCALE:
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973	DA.S.16	DA2





MASSING MODEL: VIEW FROM SOUTH





CLIENT: ANGLICARE (ACS), SYDNEY

PROJECT: MILPERRA VILLAGE

BULLECOURT AVENUE, MILPERRA DRAWING TITLE: SITE - MASSING MODEL - VIEW FROM ABOVE

DATE:	DRAWN:	SCALE:
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FILE : 973_DA2_	SITE_Central.rvt	CHECKED:
proj:	DRAWING:	REVISION:
973	DA.S.20	DA1

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ELEVATED VIEW FROM NORTH WITH APARTMENT BUILDING A IN FOREGROUND



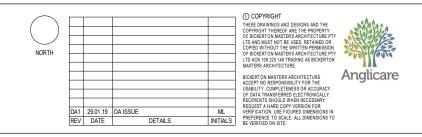
ELEVATED VIEW FROM NORTH-EAST WITH APARTMENT BUILDING A IN FOREGROUND (BULLECOURT LANE IN VIEW)



EASTERN END OF BUILDING B WITH COMMUNITY AREAS IN LOWER LEVEL.



NORTH EAST CORNER OF RESIDENTIAL CARE BUILDING (RC) VIEWED FROM BULLECOURT LANE





CLIENT: ANGLICARE (ACS), SYDNEY

PROJECT: MILPERRA VILLAGE

BULLECOURT AVENUE, MILPERRA

DRAWING TITLE: PERSPECTIVE VIEWS & MONTAGES 1

DATE: JAN 29, 20	DRAWN: 119	SCALE: 1 : 1@A
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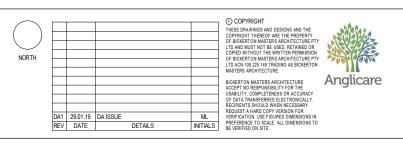


BULLECOURT AVENUE - SOUTH WEST CORNER OF SITE



RESIDENTIAL AGED CARE BUILDING (RC) EASTERN END OF BLDG A COMMUNITY AREAS IN LOWER LEVEL OF BUILDING B

BULLECOURT LANE





CLIENT: ANGLICARE (ACS), SYDNEY

PROJECT: MILPERRA VILLAGE

BULLECOURT AVENUE, MILPERRA

DRAWING TITLE: PERSPECTIVE VIEWS & MONTAGES 2

DATE: SCALE: JAN 29, 2019 FILE : CHECKED: 973_DA2_SITE_Central.rvt PROJ: DRAWING: 973 DA.S.22 REVISION: DA1

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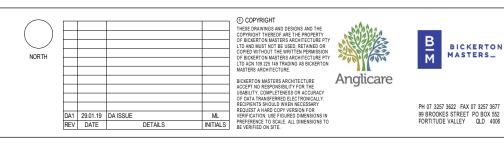
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PERSPECTIVE VIEW - CORNER OF BULLECOURT AVENUE AND BULLECOURT LANE



PERSPECTIVE VIEW - FROM BULLECOURT AVENUE (WEST)



EXISTING TREES TO BULLECOURT AVE VERGE - REFER ALSO

2 STOREY RESIDENTIAL AGED CARE BUILDING

NEW REFUGE / CROSSING POINT

EXISTING TREES TO BULLLECOURT AVE - REFER ALSO TO SITE PHOTOS EXISTING 2 STOREY DUPLEX ADJACENT - MASSING MODEL FROM SURVEY

BUILDING D - 2 STOREY RETIREMENT LIVING APARTMENTS



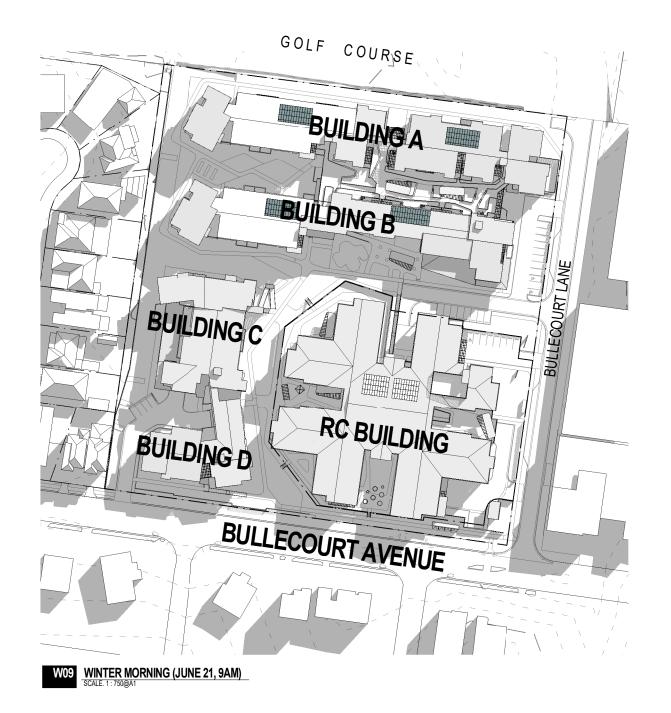
CLIENT: ANGLICARE (ACS), SYDNEY

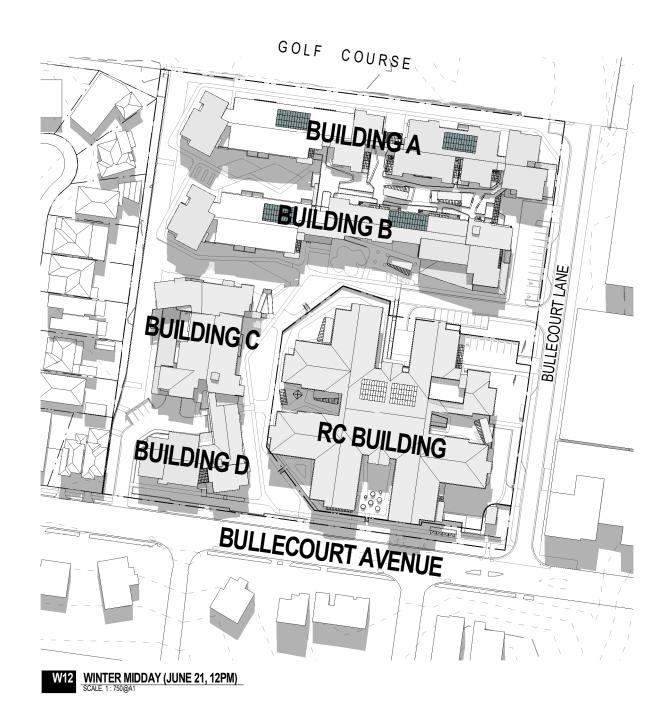
PROJECT: MILPERRA VILLAGE

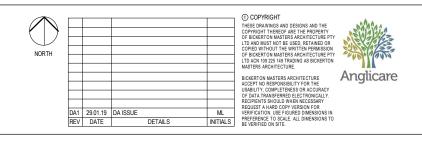
BULLECOURT AVENUE, MILPERRA

DRAWING TITLE: PERSPECTIVE VIEWS & MONTAGES 3

DATE SCALE: JAN 29, 2019 @A1 FILE : CHECKED: 973_DA2_SITE_Central.rvt PROJ: 973 DRAWING: DA.S.23 REVISION: DA1









^{CLIENT:} ANGLICARE (ACS), SYDNEY

PROJECT: MILPERRA VILLAGE

BULLECOURT AVENUE, MILPERRA DRAWING TITLE: MID-WINTER SHADOW DIAGRAMS - 1 OF 2

DATE: DRAWN: JAN 29, 2019 FILE : 973_DA2_SITE_Central.rvt PROJ: DRAWING: 973 DA.S.40 SCALE: 1:750@A1 CHECKED:

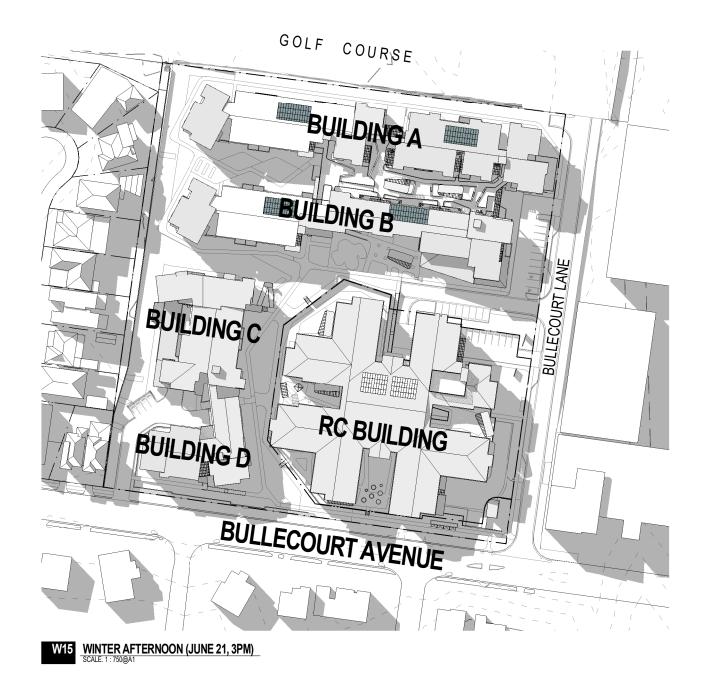
REVISION

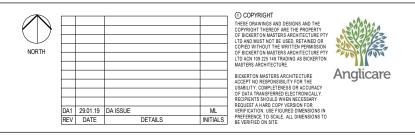
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PROJECT: MILPERRA VILLAGE

CLIENT:

SYDNEY

BULLECOURT AVENUE, MILPERRA

ANGLICARE (ACS),

DRAWING TITLE: MID-WINTER SHADOW DIAGRAMS - 2 OF 2

FILE : 973_DA2_SITE_Central.rvt PROJ: 973 drawing: DA.S.41 REVISION: DA1

SCALE: 1:750@A1 CHECKED:

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DATE JAN 29, 2019



2 STOREY APARTMENT BUILDINGS

COLORBOND METAL ROOF, FACSIAS & GUTTERS

COLORBOND VERTICAL METAL CLADDING ("WRAP OVER ROOF")

POWDERCOATED ALUM WINDOW AWNINGS -

ALUM FRAMED WINDOWS

GLAZED ALUMINIUM BALUSTRADE

MASONARY OR EXPRESSED JOINT FC CLADDING WITH PAINT FINISH. (STRUCTURE VARIES)

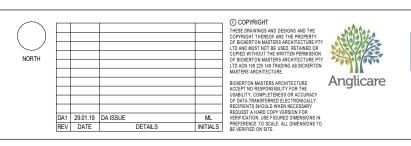
MASONARY SOLID BALUSTRADE - PAINT FINISH

POWDERCOATED ALUM UNDERFLOOR SCREENING



2 STOREY APARTMENT BUILDING COMMUNITY AREA COLORBOND METAL ROOF, FACSIAS & GUTTERS EXPRESSED JOINT MASONARY OR FC CLADDING (PAINT FINISH) VERTICAL COLORBOND METAL CLADDING END OF RAC BUILDING POWDERCOATED ALUM WINDOWS HORIZONTAL TIMBER FEATURE CLADDING UNDER VERANDAH GLAZED ALUM VERANDAH BALUSTRADE FACEBRICK ELEMENTS TO ENTRY AREA

NOTE: REFER TO DRAWINGS DA.S.21 TO DA.S.23 FOR ADDITIONAL PERSPECTIVE VIEWS WITH LANDSCAPING & SURROUNDINGS. REFER TO LARGER SCALE BUILDING ELEVATIONS FOR ADDITIONAL MATERIAL INFORMATION





^{CLIENT:} ANGLICARE (ACS) , SYDNEY

PROJECT: MILPERRA VILLAGE

BULLECOURT AVENUE, MILPERRA DRAWING TITLE: MATERIALS & FENESTRATION -PERSPECTIVE VIEWS

DATE:	DRAWN:	SCALE:	
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FILE : 973_DA2_	_SITE_Central.rvt	CHECKED:	
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COLORBOND METAL CLADDING (HIGH LEVEL -BETWEEN ROOFS)

AFS EXTERNAL WALLS WITH RENDER/PAINT FINISH

FACE BRICK & HORIZONTAL BOARD FEATURE WALLS



BALUSTRADE PANELS

BUILDING ENVELOPE



MIX OF SOLID & GLAZED BALUSTRADES



POWDERCOATED ALUMINIUM FRAMED GLAZED BALUSTRADES - CLEAR/TINTED GLASS



POWDERCOATED ALUMINIUM LOUVRE PRIVACY SCREENS



POWDERCOATED ALUMINIUM FRAMED GLAZED BALUSTRADES - FROSTED GLASS

BALCONY BALUSTRADES & SCREENS



SOLID CLEAR ANODISED CANTILEVERED WINDOW AWNINGS



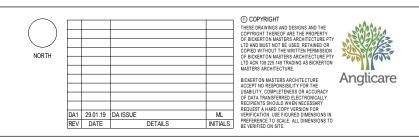
ANODISED ALUMINIUM SOLID AWNINGS - & POWDERCOATED ALUMINIUM PRIVACY SCREENS



ANODISED ALUMINIUM LOUVRE WINDOW AWNINGS TO ALLOW WINTER SUN PENETRATION FROM NORTHERN SKY



ANODISED ALUMINIUM SOLID AWNINGS - & POWDERCOATED ALUMINIUM PRIVACY SCREENS



WINDOW AWNINGS





COLORBOND METAL ROOFING - SURFMIST TO HIGHEST ROOFS



CLIENT: ANGLICARE (ACS), SYDNEY

PRO.IECT MILPERRA VILLAGE

BULLECOURT AVENUE, MILPERRA

DRAWING TITLE: MATERIALS & FENESTRATION -SAMPLE IMAGES

DATE:	DRAWN:	SCALE:
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FILE : 973_DA2	_SITE_Central.rvt	CHECKED:
PROJ:	DRAWING:	REVISION:
973	DA.S.61	DA1

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