

DA1	29.01.19	DA ISSUE		ML	
REV	DATE	DETAILS		INITIALS	

© COPYRIGHT
THESE DRAWINGS AND DESIGNS AND THE
COPYRIGHT THEREOF ARE THE PROPERTY
OF BICKERTON MASTERS ARCHITECTURE PTY
LTD AND MUST NOT BE USED, RETAINED OR
COPIED WITHOUT THE WRITTEN PERMISSION
OF BICKERTON MASTERS ARCHITECTURE PTY
LTD ACN 109 225 149 TRADING AS BICKERTON
MASTERS ARCHITECTURE.
BICKERTON MASTERS ARCHITECTURE
ACCEPTS NO RESPONSIBILITY FOR THE
USABILITY, COMPLETENESS OR ACCURACY
OF DATA TRANSFERRED ELECTRONICALLY.
RECIPIENTS SHOULD WHEN NECESSARY
REQUEST A HARD COPY VERSION FOR
VERIFICATION. USE FIGURED DIMENSIONS IN
PREFERENCE TO SCALE. ALL DIMENSIONS TO
BE VERIFIED ON SITE.



PH 07 3257 3622 FAX 07 3257 3677
99 BROOKES STREET PO BOX 552
FORTITUDE VALLEY QLD 4006

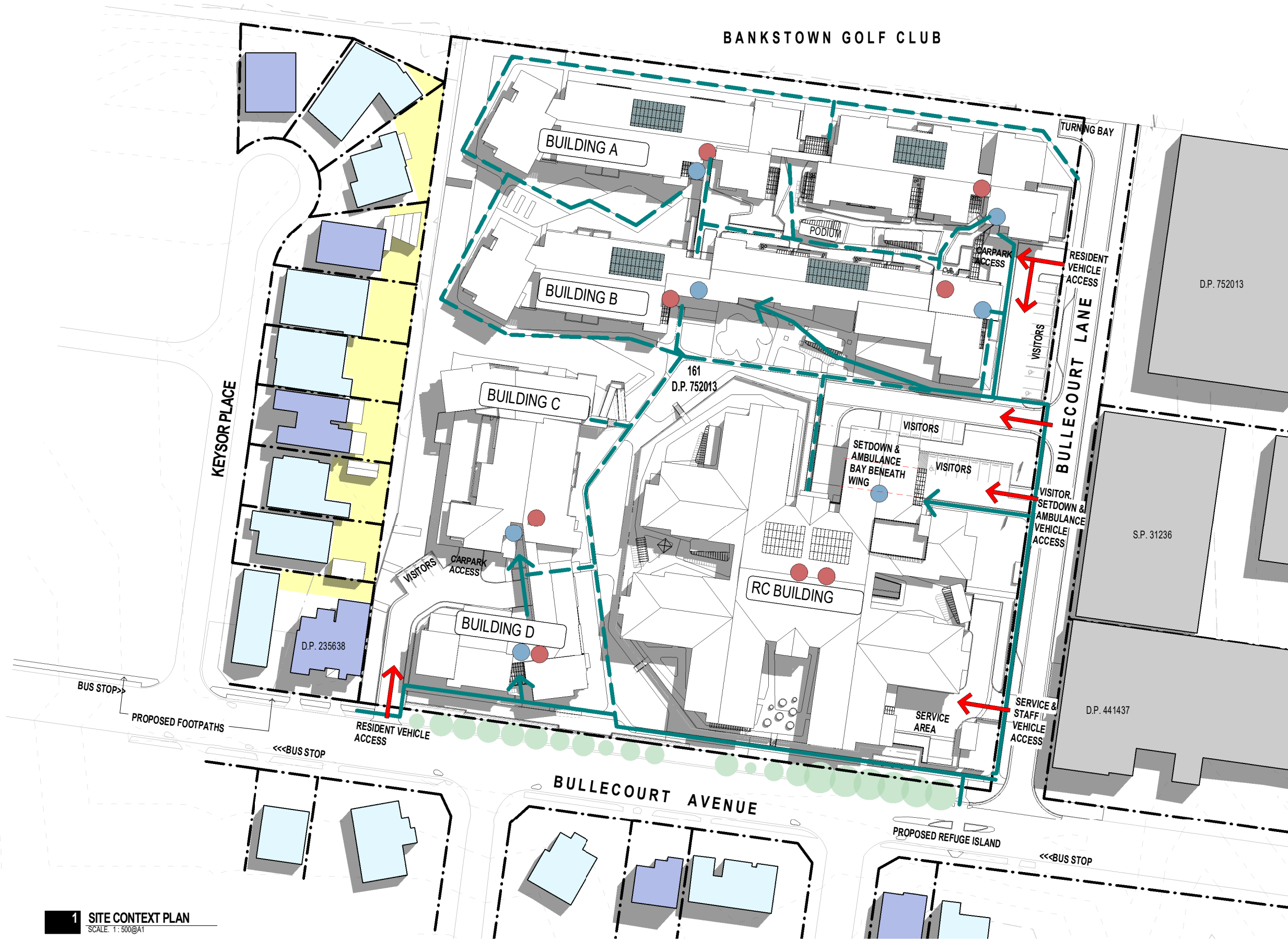
CLIENT:
ANGLICARE (ACS),
SYDNEY

PROJECT:
MILPERRA VILLAGE

BULLECOURT AVENUE,
MILPERRA

DRAWING TITLE:
SITE - LOCALITY/CONTEXT

DATE:
JAN 29, 2019
FILE :
973_DA2_SITE_Central.rvt
PROJ:
973
DRAWING:
DA.S.01
SCALE:
@A1
CHECKED:
REVISION:
DA1



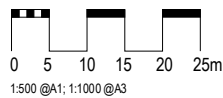
- PRIMARY PEDESTRIAN ROUTE
- - - SECONDARY PEDESTRIAN ROUTE
- VEHICLE SITE ENTRY
- LIFT LOCATION
- RESIDENT ENTRANCE (AT GROUND FLOOR)

SITE AREA = 27861sqm

LOCATION, SIZE & USE OF SURROUNDING BUILDINGS

- EXISTING 2 STOREY RESIDENTIAL BUILDING
- EXISTING SINGLE STOREY RESIDENTIAL
- PRIVATE OPEN SPACE - ADJACENT RESIDENCES
- LIGHT INDUSTRIAL + COMMERCIAL BUILDINGS (5-10m HEIGHT)

1 SITE CONTEXT PLAN
SCALE: 1:500@A1



REV	DATE	DETAILS	INITIALS
DA1	29.01.19	DA ISSUE	ML

© COPYRIGHT
THESE DRAWINGS AND DESIGNS AND THE
COPYRIGHT THEREOF ARE THE PROPERTY
OF BICKERTON MASTERS ARCHITECTURE PTY
LTD AND MUST NOT BE USED, RETAINED OR
COPIED WITHOUT THE WRITTEN PERMISSION
OF BICKERTON MASTERS ARCHITECTURE PTY
LTD ACN 109 225 149 TRADING AS BICKERTON
MASTERS ARCHITECTURE.
BICKERTON MASTERS ARCHITECTURE
ACCEPT NO RESPONSIBILITY FOR THE
USABILITY, COMPLETENESS OR ACCURACY
OF DATA TRANSFERRED ELECTRONICALLY.
RECIPIENTS SHOULD WHEN NECESSARY
REQUEST A HARD COPY VERSION FOR
VERIFICATION. USE FIGURED DIMENSIONS IN
PREFERENCE TO SCALE. ALL DIMENSIONS TO
BE VERIFIED ON SITE.



PH 07 3257 3622 FAX 07 3257 3677
99 BROOKES STREET PO BOX 552
FORTITUDE VALLEY QLD 4006

CLIENT:
ANGLICARE (ACS),
SYDNEY

PROJECT:
MILPERRA VILLAGE

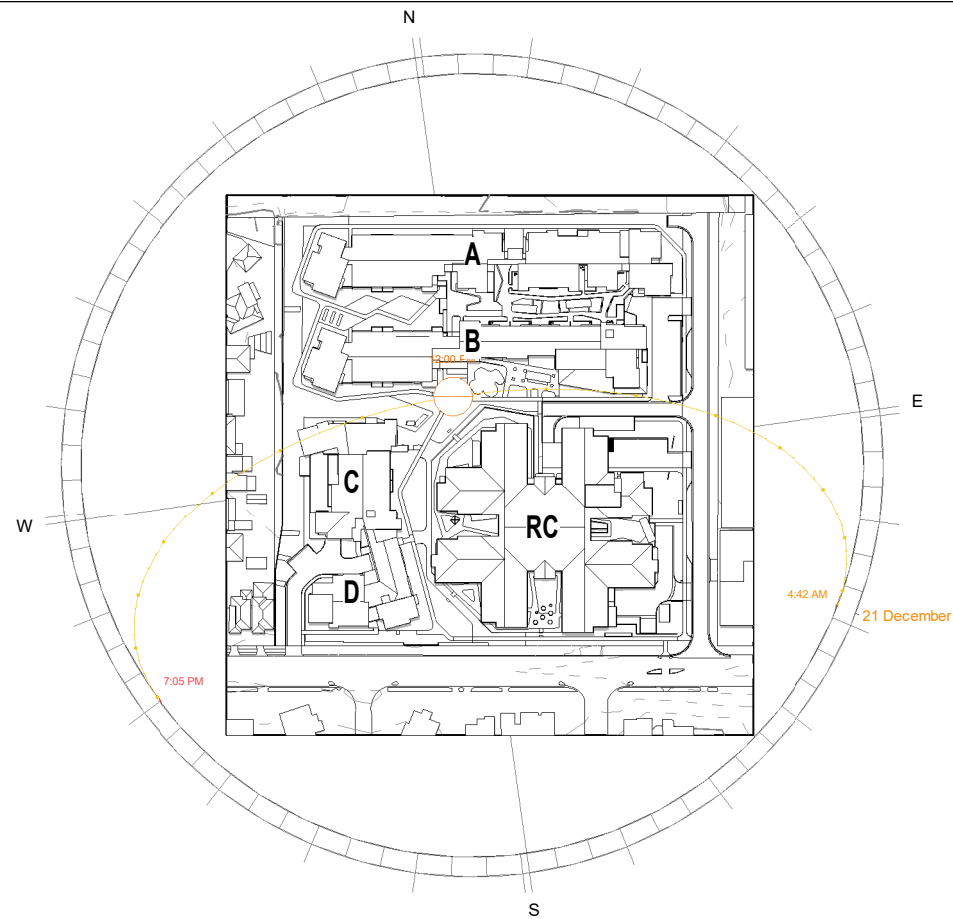
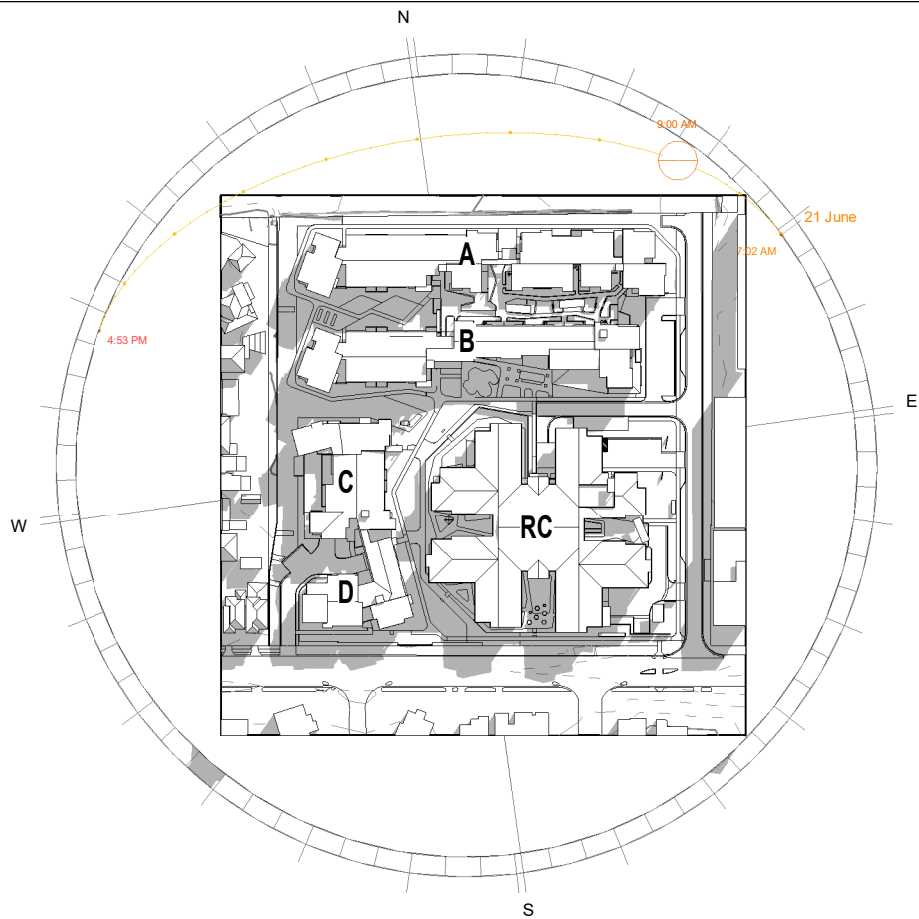
BULLECOURT AVENUE,
MILPERRA

DRAWING TITLE:
SITE - CONTEXT 1

DATE:
JAN 29, 2019
FILE:
973_DA2_SITE_Central.rvt

PROJ:
973

DRAWN:
SCALE:
1:500@A1
CHECKED:
REVISION:
DA1



SUN PATHS

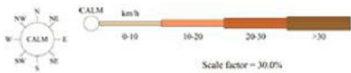
1 SUN PATH ON SITE - WINTER
SCALE: @A1

2 SUN PATH ON SITE - SUMMER
SCALE: @A1

Location: Sydney
Latitude: -33.86
Period: 9am Annual
Site Number: 66037
Longitude: 151.20
Elevation: 39 metres (above sea level)
Period: 3pm Annual

Period: 9am Annual

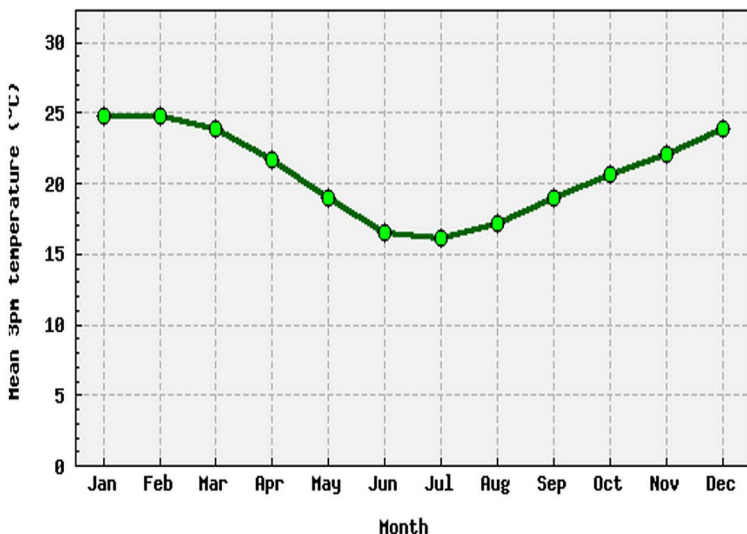
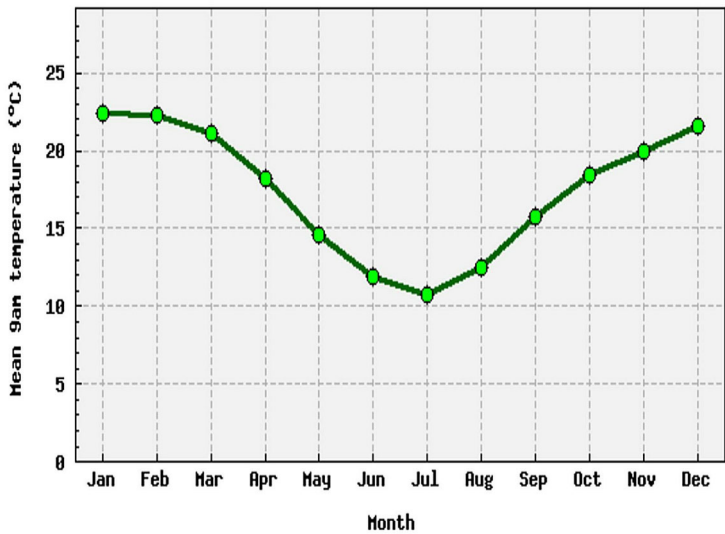
Period: 3pm Annual



WIND ROSES

Location: 066037 SYDNEY AIRPORT AMO

Location: 066037 SYDNEY AIRPORT AMO



066037 Mean 9am temperature (°C)

066037 Mean 3pm temperature (°C)



TEMPERATURE RANGE



DA1	29.01.19	DA ISSUE	ML
REV	DATE	DETAILS	INITIALS

© COPYRIGHT
THESE DRAWINGS AND DESIGNS AND THE
COPYRIGHT THEREOF ARE THE PROPERTY
OF BICKERTON MASTERS ARCHITECTURE PTY
LTD AND MUST NOT BE USED, RETAINED OR
COPIED WITHOUT THE WRITTEN PERMISSION
OF BICKERTON MASTERS ARCHITECTURE PTY
LTD ACN 109 225 149 TRADING AS BICKERTON
MASTERS ARCHITECTURE.
BICKERTON MASTERS ARCHITECTURE
ACCEPT NO RESPONSIBILITY FOR THE
USABILITY, COMPLETENESS OR ACCURACY
OF DATA TRANSFERRED ELECTRONICALLY.
RECIPIENTS SHOULD WHEN NECESSARY
REQUEST A HARD COPY VERSION FOR
VERIFICATION. USE FIGURED DIMENSIONS IN
PREFERENCE TO SCALE. ALL DIMENSIONS TO
BE VERIFIED ON SITE.



PH 07 3257 3622 FAX 07 3257 3677
99 BROOKES STREET PO BOX 552
FORTITUDE VALLEY QLD 4006

CLIENT:
ANGLICARE (ACS),
SYDNEY

PROJECT:
MILPERRA VILLAGE

BULLECOURT AVENUE,
MILPERRA

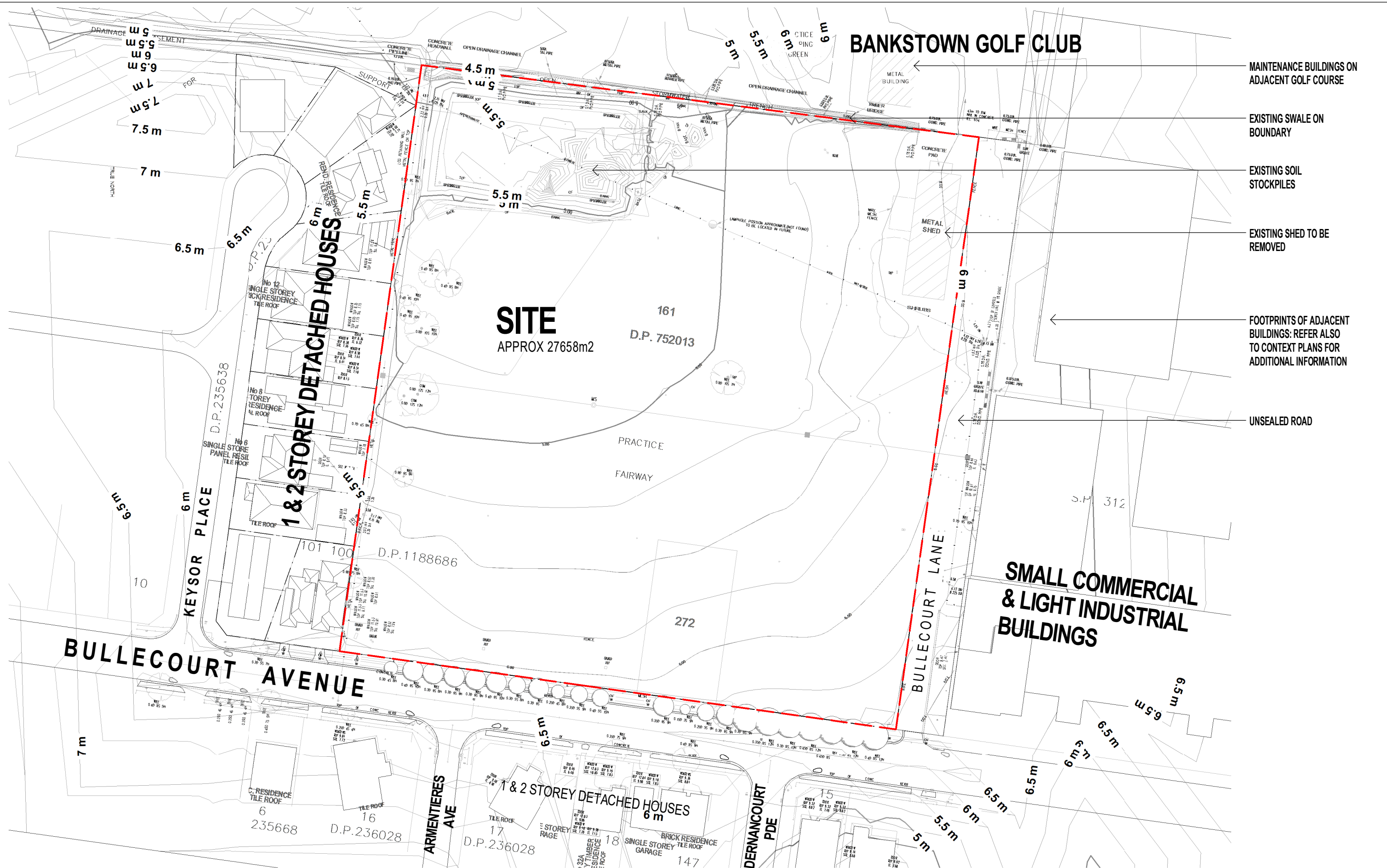
DRAWING TITLE:
SITE - CONTEXT 2

DATE:
JAN 29, 2019
FILE :
973_DA2_SITE_Central.rvt

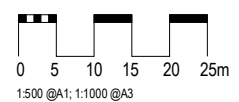
PROJ:
973

DRAWN:
SCALE:
@A1
CHECKED:
REVISION:
DA1

BP (200m)



- MAINTENANCE BUILDINGS ON ADJACENT GOLF COURSE
- EXISTING SWALE ON BOUNDARY
- EXISTING SOIL STOCKPILES
- EXISTING SHED TO BE REMOVED
- FOOTPRINTS OF ADJACENT BUILDINGS: REFER ALSO TO CONTEXT PLANS FOR ADDITIONAL INFORMATION
- UNSEALED ROAD



DA1	29.01.19	DA ISSUE	ML
REV	DATE	DETAILS	INITIALS

© COPYRIGHT
THESE DRAWINGS AND DESIGNS AND THE
COPYRIGHT THEREOF ARE THE PROPERTY
OF BICKERTON MASTERS ARCHITECTURE PTY
LTD AND MUST NOT BE USED, RETAINED OR
COPIED WITHOUT THE WRITTEN PERMISSION
OF BICKERTON MASTERS ARCHITECTURE PTY
LTD ACN 109 225 149 TRADING AS BICKERTON
MASTERS ARCHITECTURE.
BICKERTON MASTERS ARCHITECTURE
ACCEPTS NO RESPONSIBILITY FOR THE
USABILITY, COMPLETENESS OR ACCURACY
OF DATA TRANSFERRED ELECTRONICALLY.
RECIPIENTS SHOULD WHEN NECESSARY
REQUEST A HARD COPY VERSION FOR
VERIFICATION. USE FIGURED DIMENSIONS IN
PREFERENCE TO SCALE. ALL DIMENSIONS TO
BE VERIFIED ON SITE.

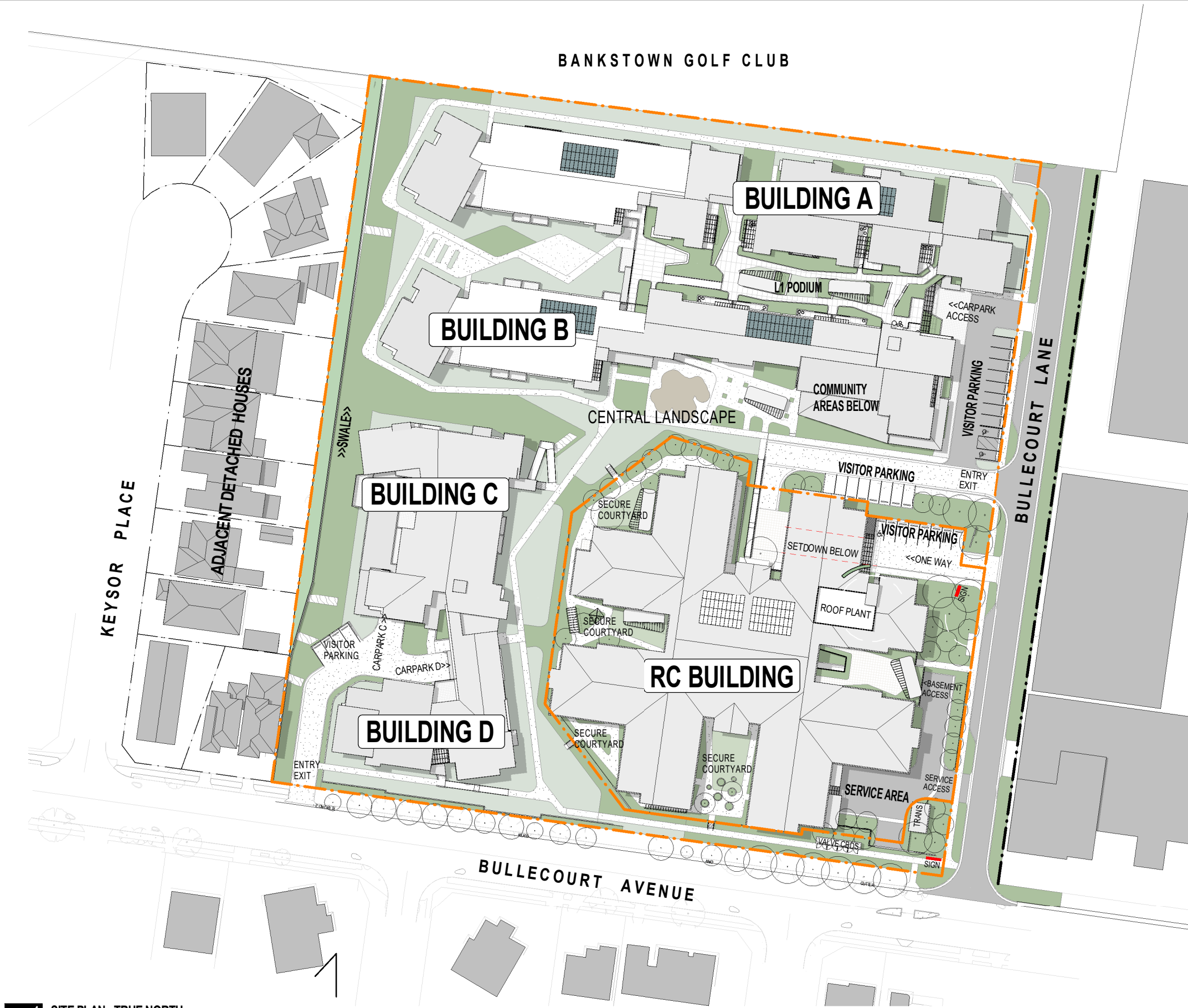


PH 07 3257 3622 FAX 07 3257 3677
99 BROOKES STREET PO BOX 552
FORTITUDE VALLEY QLD 4006

CLIENT:
ANGLICARE (ACS),
SYDNEY
PROJECT:
MILPERRA VILLAGE
BULLECOURT AVENUE,
MILPERRA

DRAWING TITLE:
EXISTING SITE PLAN
DATE:
JAN 29, 2019
FILE :
973_DA2_SITE_Central.rvt
PROJ:
973
DRAWING:
DA.S.05
REVISION:
DA1

SCALE:
1:500@A1
CHECKED:
REVISION:
DA1



2 SITE SIGNAGE- 2 LOCATIONS
SCALE: 1:25@A1

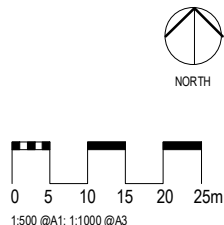
1 SITE PLAN - TRUE NORTH
SCALE: 1:500@A1

YIELD - RAC BUILDING		CURRENT AS OF 24/01/2019
SITE AREA	7,584m ²	
FSR	0.92:1 (SEPP SENIORS)	
GFA	6970m ² (SEPP SENIORS)	
	6568m ² (LEPP DEFINITION)	
NUMBER OF BEDS	107 BEDS IN 6 HOUSES	

Refer to separate site diagrams for deep soil planting & open space
Refer to DA.RC.21 for Residential Care Site Area Measures and DA.RL.401 for Apartment Building Site Measures

YIELD - RL APARTMENTS		CURRENT AS OF 24/01/2019
SITE AREA	20,074m ²	
FSR	0.49:1 (SEPP SENIORS)	
GFA	9917m ² (SEPP SENIORS)	
	9422m ² (LEPP DEFINITION)	
APARTMENT LIVING		
TOTAL DWELLINGS / GFA IN RETIREMENT LIVING SITE	1 BED APARTMENTS	7
	2 BED APARTMENTS	46
	3 BED APARTMENTS	28
	TOTAL APARTMENTS	81

SITE - DEEP SOIL PLANTING & OPEN SPACE			
	RES CARE	RET LIVING	SITE TOTAL
SITE AREA	7,584m ²	20,074m ²	27,658m ²
DEEP SOIL PLANTING			7,000m ² (APPROX 25%)
OPEN SPACE	2,720m ² (36%)	8,500m ² (42%)	11,300m ² (APPROX 41%)



DA1	29.01.19	DA ISSUE	ML
REV	DATE	DETAILS	INITIALS

© COPYRIGHT
THESE DRAWINGS AND DESIGNS AND THE COPYRIGHT THEREOF ARE THE PROPERTY OF BICKERTON MASTERS ARCHITECTURE PTY LTD AND MUST NOT BE USED, RETAINED OR COPIED WITHOUT THE WRITTEN PERMISSION OF BICKERTON MASTERS ARCHITECTURE PTY LTD ACN 109 225 149 TRADING AS BICKERTON MASTERS ARCHITECTURE.
BICKERTON MASTERS ARCHITECTURE ACCEPT NO RESPONSIBILITY FOR THE USABILITY, COMPLETENESS OR ACCURACY OF DATA TRANSFERRED ELECTRONICALLY. RECIPIENTS SHOULD WHEN NECESSARY REQUEST A HARD COPY VERSION FOR VERIFICATION. USE FIGURED DIMENSIONS IN PREFERENCE TO SCALE. ALL DIMENSIONS TO BE VERIFIED ON SITE.



PH 07 3257 3622 FAX 07 3257 3677
99 BROOKES STREET PO BOX 552
FORTITUDE VALLEY QLD 4006

CLIENT:
ANGLICARE (ACS), SYDNEY

PROJECT:
MILPERRA VILLAGE

BULLECOURT AVENUE, MILPERRA

DRAWING TITLE:
SITE - OVERALL SITE PLAN - TRUE NORTH ORIENTATION

DATE: JAN 29, 2019	DRAWN: 973_DA2_SITE_Central.rvt	SCALE: As indicated@A1
FILE :		CHECKED:
PROJ: 973	DRAWING: DA.S.06	REVISION: DA1

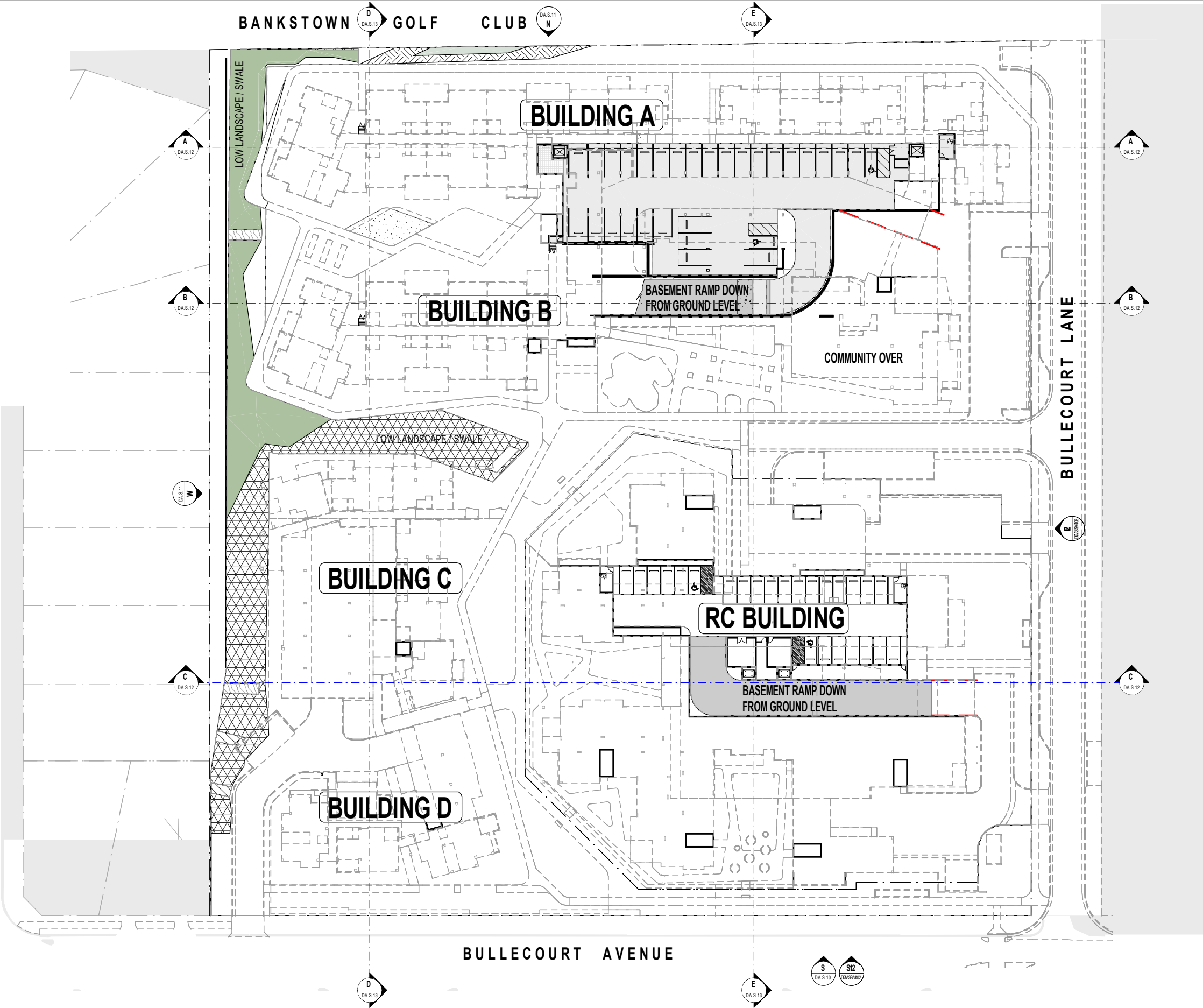
ON SITE CARPARKING SCHEDULE		
CARPARK DESCRIPTION / TYPE		No
BUILDING A & B - INTERNAL RESIDENT BAYS		
RESIDENT CARPARK - 3.2m WIDE BAY		49
RESIDENT CARPARK - 3.8m WIDE BAY		5
RESIDENT CARPARK - ACCESSIBLE BAY WITH 2.4m CLEAR SPACE ADJACENT		4
		58
BUILDING A & B - EXTERNAL VISITOR BAY - PWD BAY		
VISITOR CARPARK - PWD BAY	2	2
BUILDING A & B - EXTERNAL VISITOR BAYS		
VISITOR CARPARK - 2.7m WIDE BAY	16	16
BUILDING C & D - EXTERNAL VISITOR BAYS		
VISITOR CARPARK - 2.6m WIDE BAY	4	4
BUILDING C & D- INTERNAL RESIDENT BAYS		
RESIDENT CARPARK - 3.2m WIDE BAY		18
RESIDENT CARPARK - 3.8m WIDE BAY		2
RESIDENT CARPARK - ACCESSIBLE BAY WITH 2.4m CLEAR SPACE ADJACENT		2
		22
BUILDING C & D- INTERNAL RESIDENT BAYS - SINGLE GARAGE		
SINGLE GARAGE	2	2
RC BUILDING - EXTERNAL VISITOR BAYS		
VISITOR CARPARK - PARALLEL SETDOWN BAY	2	2
RC BUILDING - EXTERNAL VISITOR BAYS		
VISITOR CARPARK - ACCESSIBLE BAY WITH 2.4m CLEAR SPACE ADJACENT		1
VISITOR CARPARK - 2.7m WIDE BAY		7
		8
RC BUILDING - INTERNAL STAFF BAYS IN RC BASEMENT		
STAFF CARPARK - ACCESSIBLE BAY WITH 2.4m CLEAR SPACE ADJACENT		2
STAFF CARPARK - 2.7m WIDE BAY		23
		25
TOTAL ON SITE CARPARKS		139

REFER TO INDIVIDUAL BUILDING PLANS FOR ADDITIONAL DETAIL

NOTE: RESIDENT CAR BAYS ARE PROVIDED WITH EITHER ADDITIONAL STORAGE SPACE AT THE END OF THE BAY OR SEPARATE SHARED STORAGE SPACE ELSEWHERE IN THE SECURE CARPARKING ZONE.

A CAR WASH BAY IS LOCATED WITHIN THE BUILDING A-B BASEMENT.

AN AMBULANCE BAY WITH 3.8M CLEAR HEIGHT IS LOCATED IN THE COVERED SETDOWN AREA OF THE RAC BUILDING.



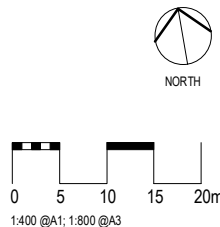
YIELD - RAC BUILDING		CURRENT AS OF 24/01/2019
SITE AREA	7,584m ²	
FSR	0.92:1 (SEPP SENIORS)	
GFA	6970m ² (SEPP SENIORS)	
	6568m ² (LEP DEFINITION)	
NUMBER OF BEDS	107 BEDS IN 6 HOUSES	

Refer to separate site diagrams for deep soil planting & open space

Refer to DA.RC.21 for Residential Care Site Area Measures and DA.RL.401 for Apartment Building Site Measures

YIELD - RL APARTMENTS		CURRENT AS OF 24/01/2019
SITE AREA	20,074m ²	
FSR	0.49:1 (SEPP SENIORS)	
GFA	9917m ² (SEPP SENIORS)	
	9422m ² (LEPP DEFINITION)	
APARTMENT LIVING		
TOTAL DWELLINGS / GFA IN RETIREMENT LIVING SITE	1 BED APARTMENTS	7
	2 BED APARTMENTS	46
	3 BED APARTMENTS	28
	TOTAL APARTMENTS	81

SITE - DEEP SOIL PLANTING & OPEN SPACE			
	RES CARE	RET LIVING	SITE TOTAL
SITE AREA	7,584m ²	20,074m ²	27,658m ²
DEEP SOIL PLANTING			7,000m ² (APPROX 25%)
OPEN SPACE	2,720m ² (36%)	8,500m ² (42%)	11,300m ² (APPROX 41%)



DA1	29.01.19	DA ISSUE	ML
REV	DATE	DETAILS	INITIALS

© COPYRIGHT
THESE DRAWINGS AND DESIGNS AND THE COPYRIGHT THEREOF ARE THE PROPERTY OF BICKERTON MASTERS ARCHITECTURE PTY LTD AND MUST NOT BE USED, RETAINED OR COPIED WITHOUT THE WRITTEN PERMISSION OF BICKERTON MASTERS ARCHITECTURE PTY LTD ACN 109 225 149 TRADING AS BICKERTON MASTERS ARCHITECTURE.

BICKERTON MASTERS ARCHITECTURE ACCEPT NO RESPONSIBILITY FOR THE USABILITY, COMPLETENESS OR ACCURACY OF DATA TRANSFERRED ELECTRONICALLY. RECIPIENTS SHOULD WHEN NECESSARY REQUEST A HARD COPY VERSION FOR VERIFICATION. USE FIGURED DIMENSIONS IN PREFERENCE TO SCALE. ALL DIMENSIONS TO BE VERIFIED ON SITE.



CLIENT:
ANGLICARE (ACS), SYDNEY

PROJECT:
MILPERRA VILLAGE

BULLECOURT AVENUE, MILPERRA

DRAWING TITLE:
SITE PLAN - BASEMENT LEVELS

DATE: JAN 29, 2019
FILE: 973_DA2_SITE_Central.rvt
PROJ: 973

DRAWN:
SCALE: As indicated@A1
CHECKED:
REVISION: DA1

ON SITE CARPARKING SCHEDULE	
CARPARK DESCRIPTION / TYPE	No
BUILDING A & B - INTERNAL RESIDENT BAYS	
RESIDENT CARPARK - 3.2m WIDE BAY	49
RESIDENT CARPARK - 3.8m WIDE BAY	5
RESIDENT CARPARK - ACCESSIBLE BAY WITH 2.4m CLEAR SPACE ADJACENT	4
	58
BUILDING A & B - EXTERNAL VISITOR BAY - PWD BAY	
VISITOR CARPARK - PWD BAY	2
	2
BUILDING A & B - EXTERNAL VISITOR BAYS	
VISITOR CARPARK - 2.7m WIDE BAY	16
	16
BUILDING C & D - EXTERNAL VISITOR BAYS	
VISITOR CARPARK - 2.6m WIDE BAY	4
	4
BUILDING C & D - INTERNAL RESIDENT BAYS	
RESIDENT CARPARK - 3.2m WIDE BAY	18
RESIDENT CARPARK - 3.8m WIDE BAY	2
RESIDENT CARPARK - ACCESSIBLE BAY WITH 2.4m CLEAR SPACE ADJACENT	2
	22
BUILDING C & D - INTERNAL RESIDENT BAYS - SINGLE GARAGE	
SINGLE GARAGE	2
	2
RC BUILDING - EXTERNAL VISITOR BAYS	
VISITOR CARPARK - PARALLEL SETDOWN BAY	2
	2
RC BUILDING - EXTERNAL VISITOR BAYS	
VISITOR CARPARK - ACCESSIBLE BAY WITH 2.4m CLEAR SPACE ADJACENT	1
VISITOR CARPARK - 2.7m WIDE BAY	7
	8
RC BUILDING - INTERNAL STAFF BAYS IN RC BASEMENT	
STAFF CARPARK - ACCESSIBLE BAY WITH 2.4m CLEAR SPACE ADJACENT	1
STAFF CARPARK - 2.7m WIDE BAY	21
	22
RC BUILDING - INTERNAL VISITOR BAYS IN RC BASEMENT	
VISITOR CARPARK - ACCESSIBLE BAY WITH 2.4m CLEAR SPACE ADJACENT	1
VISITOR CARPARK - 2.7m WIDE BAY	2
	3
TOTAL ON SITE CARPARKS	139

LOCATION OF MAILBOXES

REFER TO INDIVIDUAL BUILDING PLANS FOR ADDITIONAL DETAIL

NOTE: RESIDENT CAR BAYS ARE PROVIDED WITH EITHER ADDITIONAL STORAGE SPACE AT THE END OF THE BAY OR SEPARATE SHARED STORAGE SPACE ELSEWHERE IN THE SECURE CARPARKING ZONE.

A CAR WASH BAY IS LOCATED WITHIN THE BUILDING A-B BASEMENT.

AN AMBULANCE BAY WITH 3.8M CLEAR HEIGHT IS LOCATED IN THE COVERED SETDOWN AREA OF THE RAC BUILDING.

YIELD - RAC BUILDING		CURRENT AS OF 24/01/2019
SITE AREA	7,584m ²	
FSR	0.92:1 (SEPP SENIORS)	
GFA	6970m ² (SEPP SENIORS)	
	6568m ² (LEP DEFINITION)	
NUMBER OF BEDS	107 BEDS IN 6 HOUSES	

Refer to separate site diagrams for deep soil planting & open space
Refer to DA.RC.21 for Residential Care Site Area Measures and
DA.RL.401 for Apartment Building Site Measures

YIELD - RL APARTMENTS		CURRENT AS OF 3/10/2019
SITE AREA	20,074m ²	
FSR	0.496:1 (SEPP SENIORS)	
GFA	9953m ² (SEPP SENIORS)	
	9422m ² (LEPP DEFINITION)	
APARTMENT LIVING		
TOTAL DWELLINGS /	1 BED APARTMENTS	7
GFA IN RETIREMENT	2 BED APARTMENTS	46
LIVING SITE	3 BED APARTMENTS	28
	TOTAL APARTMENTS	81

SITE - DEEP SOIL PLANTING & OPEN SPACE			
	RES CARE	RET LIVING	SITE TOTAL
SITE AREA	7,584m ²	20,074m ²	27,658m ²
DEEP SOIL PLANTING			5,950m ² (APPROX 22%)
LAND. AREA	2,683m ² (35%) (INC. LEP AREA + ADD. AREA ON STRUC. REFER DA.RC.21)	8,250m ² (41%)	10,933m ² (APPROX 40%)

REV	DATE	DETAILS	INITIALS
DA4	1.10.19	RESPONSE TO RFIs	CM
DA3	25.09.19	RESPONSE TO RFIs COORD.	CM
DA2	13.9.19	RESPONSE TO RFI COORD.	CM
DA1	29.01.19	DA ISSUE	ML

© COPYRIGHT
THESE DRAWINGS AND DESIGNS AND THE
COPYRIGHT THEREOF ARE THE PROPERTY OF
BICKERTON MASTERS ARCHITECTURE PTY
LTD AND MUST NOT BE USED, RETAINED OR
COPIED WITHOUT THE WRITTEN PERMISSION
OF BICKERTON MASTERS ARCHITECTURE PTY
LTD A/CN 109 225 149 TRADING AS BICKERTON
MASTERS ARCHITECTURE.

BICKERTON MASTERS ARCHITECTURE
ACCEPTS NO RESPONSIBILITY FOR THE
USABILITY, COMPLETENESS OR ACCURACY
OF DATA TRANSFERRED ELECTRONICALLY.
RECIPIENTS SHOULD WHEN NECESSARY
REQUEST A HARD COPY VERSION FOR
VERIFICATION. USE FIGURED DIMENSIONS IN
PREFERENCE TO SCALE. ALL DIMENSIONS TO
BE VERIFIED ON SITE.



PH 07 3257 3622 FAX 07 3257 3677
99 BROOKES STREET PO BOX 552
FORTITUDE VALLEY QLD 4006

CLIENT:
ANGLICARE (ACS),
SYDNEY

PROJECT:
MILPERRA VILLAGE

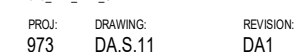
BULLECOURT AVENUE,
MILPERRA

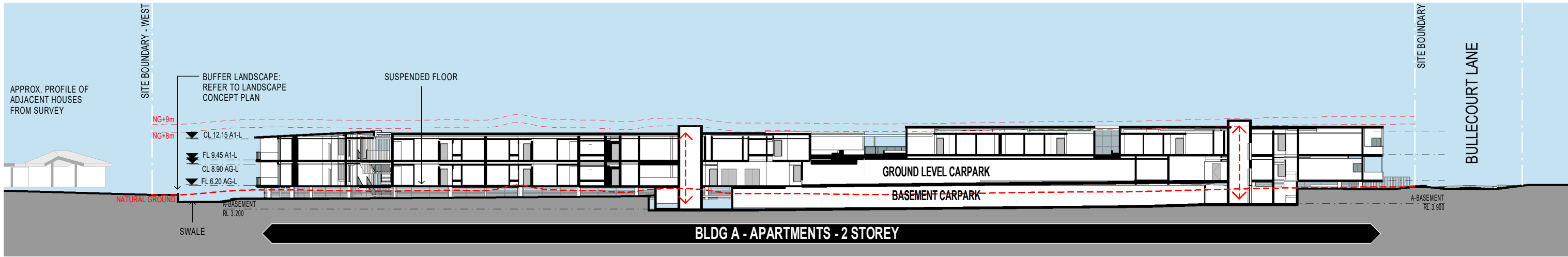
DRAWING TITLE:
SITE PLAN - GROUND LEVELS

DATE:
JAN 29, 2019
FILE:
973_DA2_SITE_Central.rvt

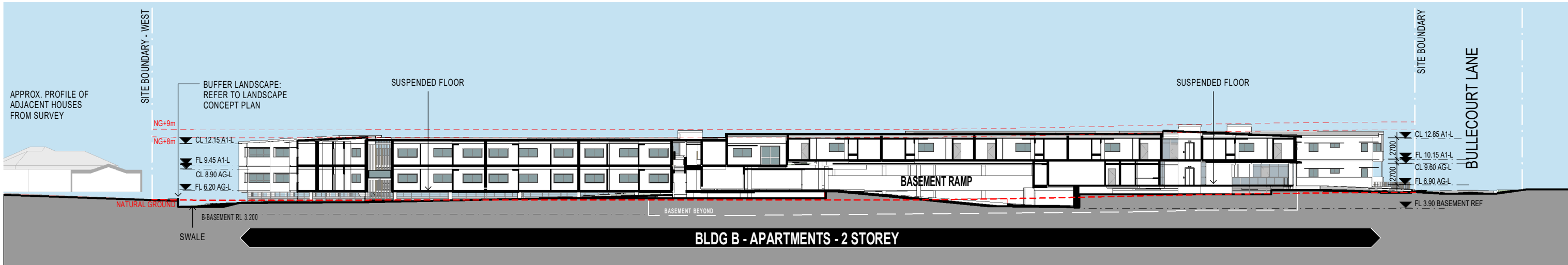
PROJ:
973

DRAWN:
SCALE:
As indicated @A1
CHECKED:
REVISION:
DA4

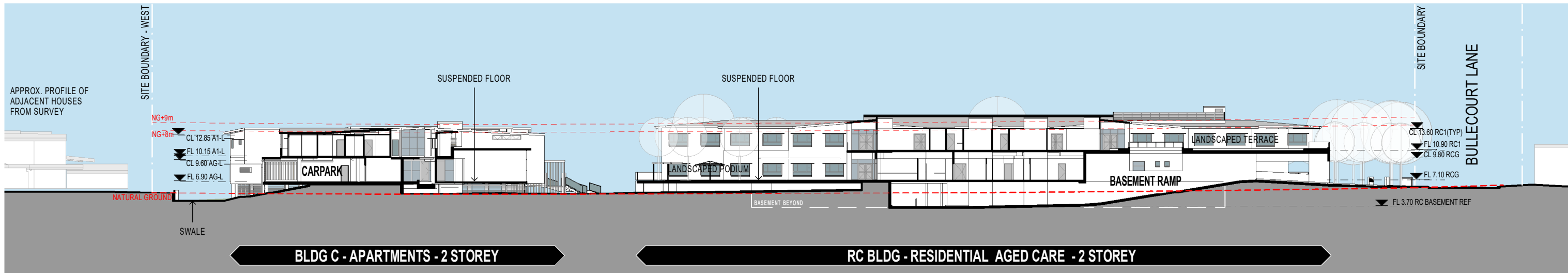




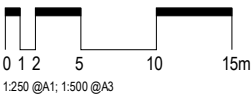
A SECTION A-A
REFDA.S.07 SCALE: 1:250@A1



B SECTION B-B
REFDA.S.07 SCALE: 1:250@A1



C SECTION C-C
REFDA.S.07 SCALE: 1:250@A1



DA1	29.01.19	DA ISSUE	ML
REV	DATE	DETAILS	INITIALS

© COPYRIGHT
THESE DRAWINGS AND DESIGNS AND THE
COPYRIGHT THEREOF ARE THE PROPERTY
OF BICKERTON MASTERS ARCHITECTURE PTY
LTD AND MUST NOT BE USED, RETAINED OR
COPIED WITHOUT THE WRITTEN PERMISSION
OF BICKERTON MASTERS ARCHITECTURE PTY
LTD ACN 109 225 149 TRADING AS BICKERTON
MASTERS ARCHITECTURE.
BICKERTON MASTERS ARCHITECTURE
ACCEPT NO RESPONSIBILITY FOR THE
USABILITY, COMPLETENESS OR ACCURACY
OF DATA TRANSFERRED ELECTRONICALLY.
RECIPIENTS SHOULD WHEN NECESSARY
REQUEST A HARD COPY VERSION FOR
VERIFICATION. USE FIGURED DIMENSIONS IN
PREFERENCE TO SCALE. ALL DIMENSIONS TO
BE VERIFIED ON SITE.



PH 07 3257 3622 FAX 07 3257 3677
99 BROOKES STREET PO BOX 552
FORTITUDE VALLEY QLD 4006

CLIENT:
ANGLICARE (ACS),
SYDNEY

PROJECT:
MILPERRA VILLAGE

BULLECOURT AVENUE,
MILPERRA

DRAWING TITLE:
SITE SECTIONS 1

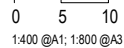
DATE:
JAN 29, 2019
FILE :
973_DA2_SITE_Central.rvt

PROJ:
973

DRAWN:
NAH

CHECKED:

REVISION:
DA1

[illegible]

DA1	29.01.19	DA ISSUE	ML
REV	DATE	DETAILS	INITIAL

BIKERTON MASTERS ARCHITECTURE
ACCEPT NO RESPONSIBILITY FOR THE
USABILITY, COMPLETENESS OR ACCURACY
OF DATA TRANSFERRED ELECTRONICALLY.
RECIPIENTS SHOULD WHEN NECESSARY
REQUEST A HARD COPY VERSION FOR
VERIFICATION. USE FIGURED DIMENSIONS IN
PREFERENCE TO SCALE. ALL DIMENSIONS TO
BE VERIFIED ON SITE.



PH 07 3257 3622 FAX 07 3257 3677
99 BROOKES STREET PO BOX 552
FORTITUDE VALLEY QLD 4006

BULLECOURT AVENUE,
MILPERRA

PROJ: 973 DRAWING: DA S 14

29/01/2019 6:57:17 PM



LANDSCAPE AREA

LANDSCAPE AREA ASSOCIATED WITH APARTMENTS REQUIRED TO BE 30% OF SITE FOR SELF CONTAINED ACCOMMODATION. (*35m² PER DWELLING FOR SOCIAL HOUSING PROVIDER= 2835m²)

TOTAL SITE AREA: 27,658m²
RL (APARTMENT) SITE AREA: 20,074m²

OPEN SPACE REQUIRED: APPROX 2835m²
OPEN SPACE PROVIDED: APPROX 8,250m²

(EXCLUDES LEVEL 1 PODIUM BETWEEN BUILDINGS A & B)

LANDSCAPE AREA ASSOCIATED WITH RAC REQUIRED TO BE 25m² PER BED

REQUIRED: 2,675m²
PROVIDED: 2,683m²

(REFER ALSO TO RAC DRAWING DA.RC.21 FOR ADDITIONAL DETAIL ON BUILDING & OPEN SPACE AREAS)

DEEP SOIL PLANTING AREA

DEEP SOIL PLANTING REQUIRED TO BE 15% OF SITE.

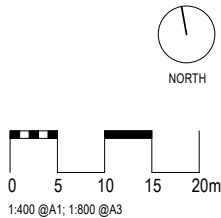
DEEP SOIL AREA REQUIRED: APPROX 4,149m²
DEEP SOIL AREA PROVIDED: APPROX 5,950m²

YIELD - RAC BUILDING		CURRENT AS OF 24/01/2019
SITE AREA	7,584m ²	
FSR	0.92:1 (SEPP SENIORS)	
GFA	6970m ² (SEPP SENIORS)	
	6568m ² (LEP DEFINITION)	
NUMBER OF BEDS	107 BEDS IN 6 HOUSES	

Refer to separate site diagrams for deep soil planting & open space
Refer to DA.RC.21 for Residential Care Site Area Measures and
DA.RL.401 for Apartment Building Site Measures

YIELD - RL APARTMENTS		CURRENT AS OF 31/10/2019
SITE AREA	20,074m ²	
FSR	0.496:1 (SEPP SENIORS)	
GFA	9853m ² (SEPP SENIORS)	
	9422m ² (LEPP DEFINITION)	
APARTMENT LIVING		
TOTAL DWELLINGS /		
GFA IN RETIREMENT		
LIVING SITE		
1 BED APARTMENTS	7	
2 BED APARTMENTS	46	
3 BED APARTMENTS	28	
TOTAL APARTMENTS	81	

SITE - DEEP SOIL PLANTING & OPEN SPACE			
	RES CARE	RET LIVING	SITE TOTAL
SITE AREA	7,584m ²	20,074m ²	27,658m ²
DEEP SOIL PLANTING			5,950m ² (APPROX 22%)
LAND. AREA	2,683m ² (35%) (INC. LEP AREA + ADD. AREA ON STRUC. REFER DA.RC.21)	8,250m ² (41%)	10,933m ² (APPROX 40%)



REV	DATE	DETAILS	INITIALS
DA3	1.10.19	RESPONSE TO RFIs	CM
DA2	25.09.19	RESPONSE TO RFIs COORD.	CM
DA1	29.01.19	DA ISSUE	ML

© COPYRIGHT
THESE DRAWINGS AND DESIGNS AND THE
COPYRIGHT THEREOF ARE THE PROPERTY OF
BICKERTON MASTERS ARCHITECTURE PTY
LTD AND MUST NOT BE USED, RETAINED OR
COPIED WITHOUT THE WRITTEN PERMISSION
OF BICKERTON MASTERS ARCHITECTURE PTY
LTD A/CN 109 225 149 TRADING AS BICKERTON
MASTERS ARCHITECTURE.

BICKERTON MASTERS ARCHITECTURE
ACCEPT NO RESPONSIBILITY FOR THE
USABILITY, COMPLETENESS OR ACCURACY
OF DATA TRANSFERRED ELECTRONICALLY.
RECIPIENTS SHOULD WHEN NECESSARY
REQUEST A HARD COPY VERSION FOR
VERIFICATION. USE FIGURED DIMENSIONS IN
PREFERENCE TO SCALE. ALL DIMENSIONS TO
BE VERIFIED ON SITE.



PH 07 3257 3622 FAX 07 3257 3677
99 BROOKES STREET PO BOX 552
FORTITUDE VALLEY QLD 4006

CLIENT:
ANGLICARE (ACS),
SYDNEY

PROJECT:
MILPERRA VILLAGE

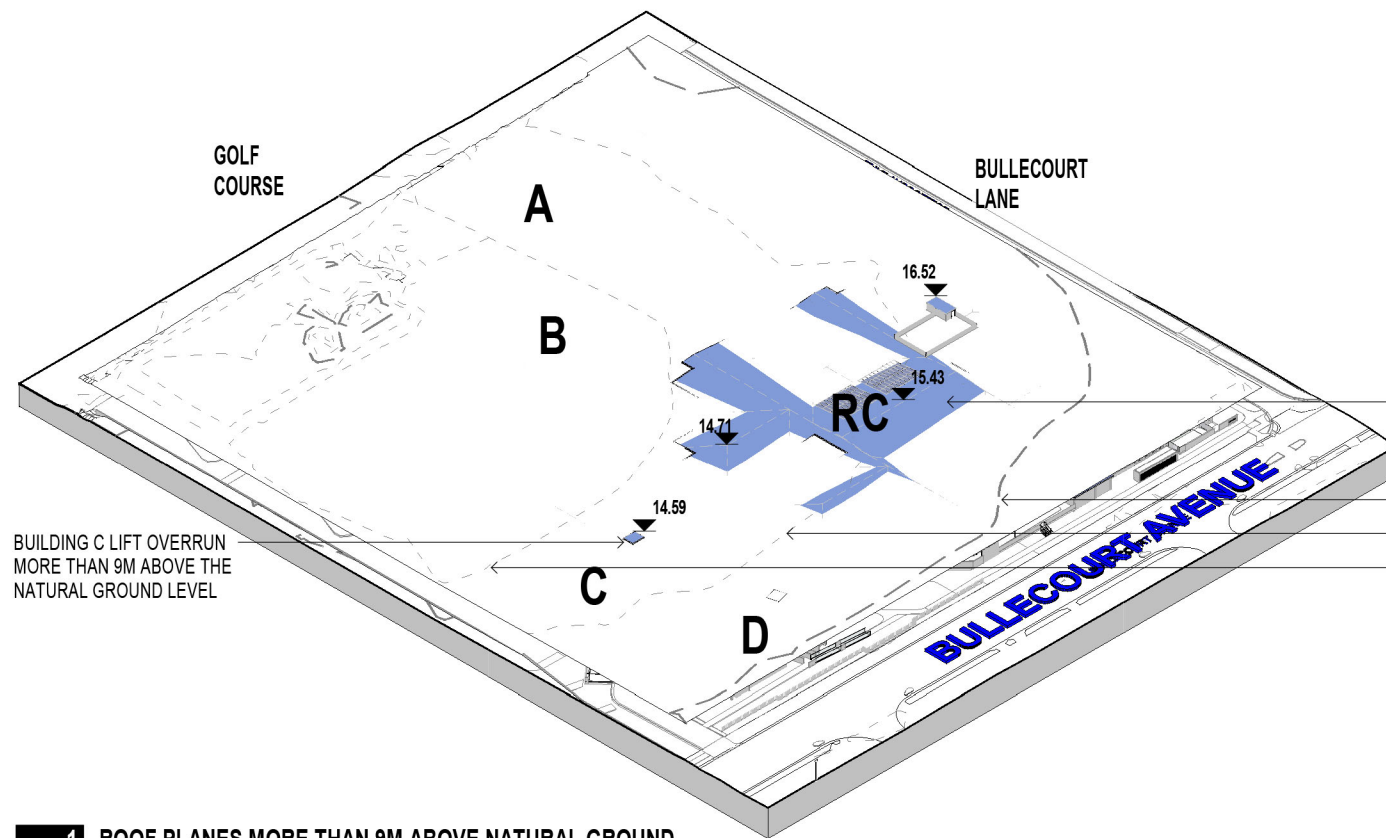
BULLECOURT AVENUE,
MILPERRA

DRAWING TITLE:
LANDSCAPE & OPEN SPACE
AREAS

DATE:
JAN 29, 2019
FILE :
973_DA2_SITE_Central.rvt

PROJ:
973
DRAWING:
DA.S.15

DRAWN:
SCALE:
As indicated@A1
CHECKED:
REVISION:
DA3

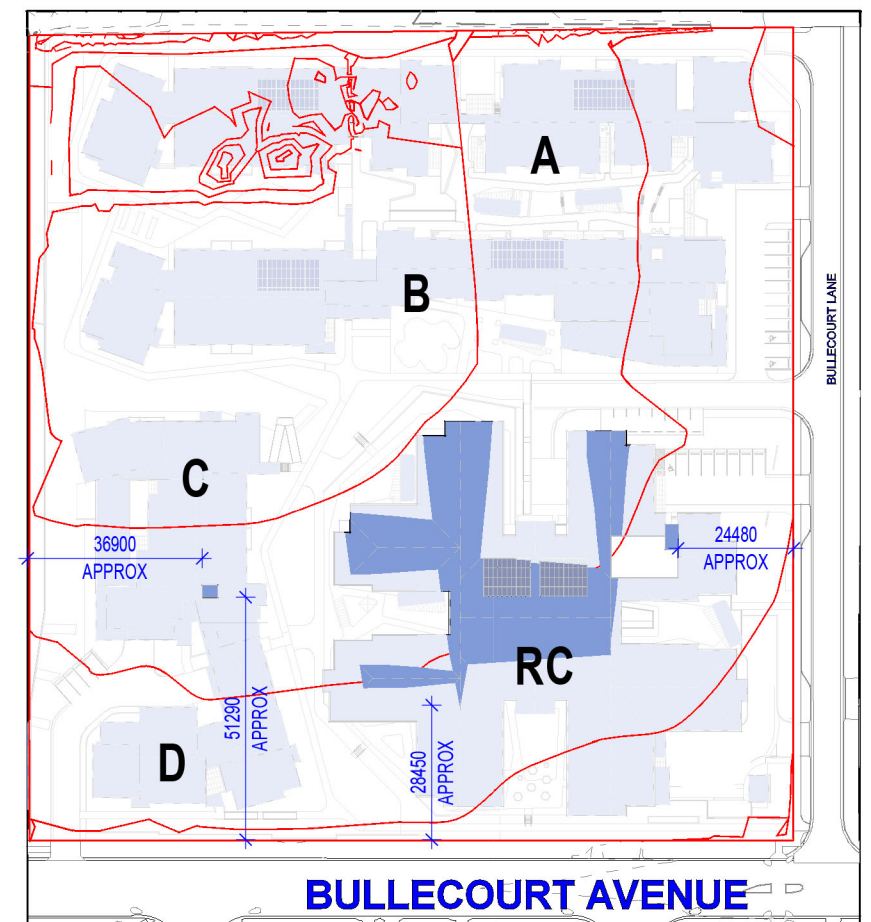


BLUE TONE SHOWS EXTENT OF RC BUILDING ROOF THAT IS MORE THAN 9M ABOVE THE NATURAL GROUND LEVEL

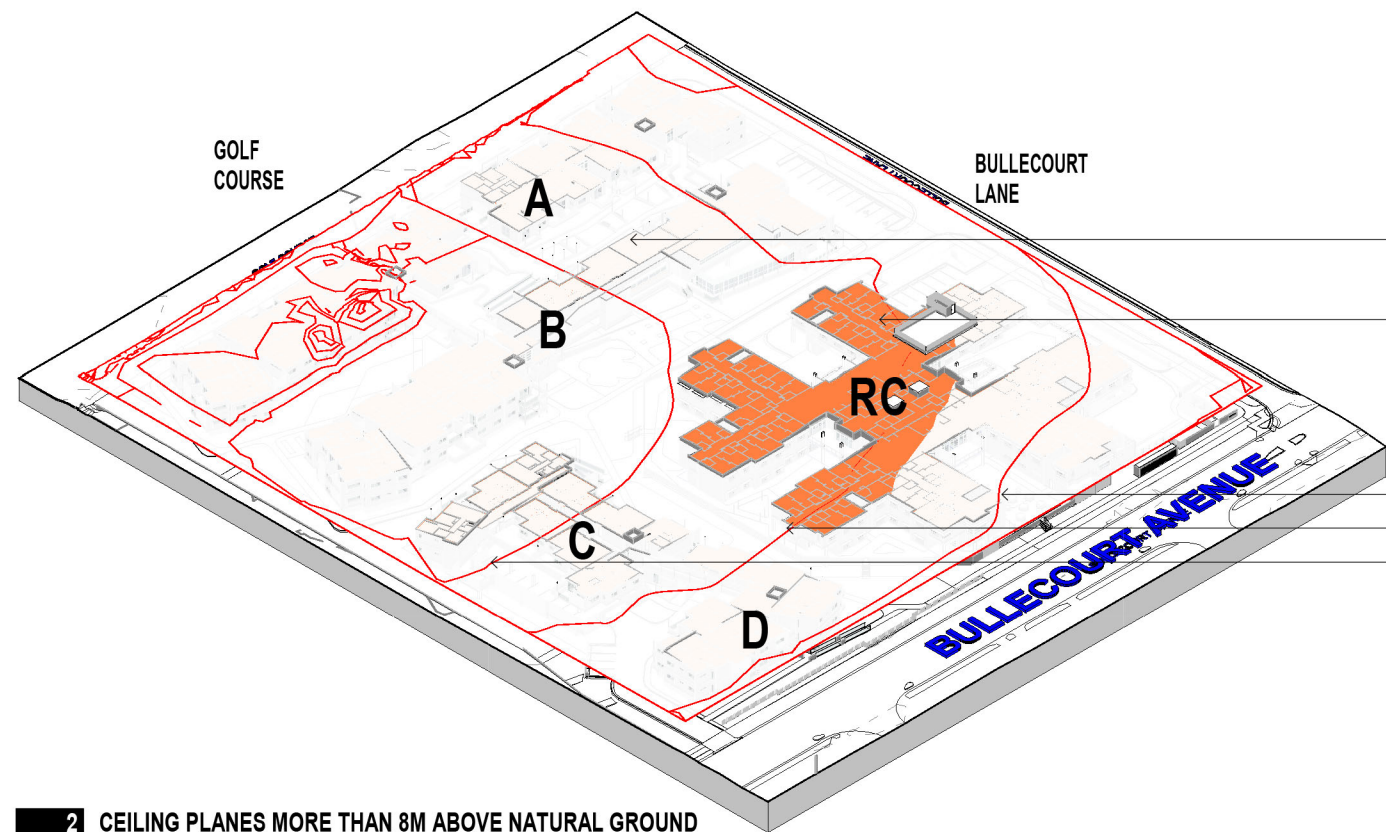
6.0M CONTOUR + 9M = RL15.0

5.5M CONTOUR + 9M = RL14.5

5.0M CONTOUR + 9M = RL14.0



1 ROOF PLANES MORE THAN 9M ABOVE NATURAL GROUND
SCALE: @A1



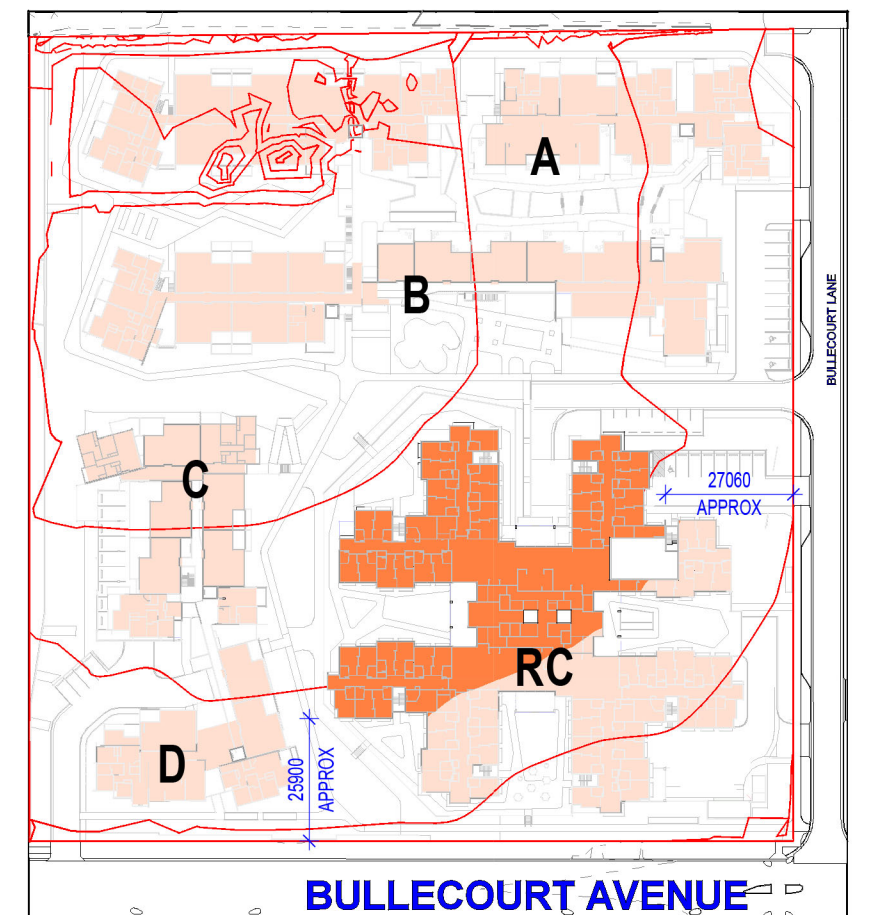
NO APARTMENT CEILING IS MORE THAN 8M ABOVE THE NATURAL GROUND LEVEL

ORANGE TONE SHOWS EXTENT OF RC BUILDING CEILING THAT IS MORE THAN 8M ABOVE THE NATURAL GROUND LEVEL

6.0M CONTOUR + 8M = RL14.0

5.5M CONTOUR + 8M = RL13.5

5.0M CONTOUR + 8M = RL13.0

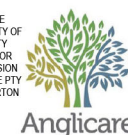


2 CEILING PLANES MORE THAN 8M ABOVE NATURAL GROUND
SCALE: @A1



REV	DATE	DETAILS	INITIALS
DA2	3.10.19	ADDITIONAL INFORMATION FOR RESPONSE TO RFI	CM
DA1	29.01.19	DA ISSUE	ML

© COPYRIGHT
THESE DRAWINGS AND DESIGNS AND THE COPYRIGHT THEREOF ARE THE PROPERTY OF BICKERTON MASTERS ARCHITECTURE PTY LTD AND MUST NOT BE USED, RETAINED OR COPIED WITHOUT THE WRITTEN PERMISSION OF BICKERTON MASTERS ARCHITECTURE PTY LTD. A/CN 109 225 149 TRADING AS BICKERTON MASTERS ARCHITECTURE.
BICKERTON MASTERS ARCHITECTURE ACCEPTS NO RESPONSIBILITY FOR THE USABILITY, COMPLETENESS OR ACCURACY OF DATA TRANSFERRED ELECTRONICALLY. RECIPIENTS SHOULD WHEN NECESSARY REQUEST A HARD COPY VERSION FOR VERIFICATION. USE FIGURED DIMENSIONS IN PREFERENCE TO SCALE. ALL DIMENSIONS TO BE VERIFIED ON SITE.



PH 07 3257 3622 FAX 07 3257 3677
99 BROOKES STREET PO BOX 552
FORTITUDE VALLEY QLD 4006

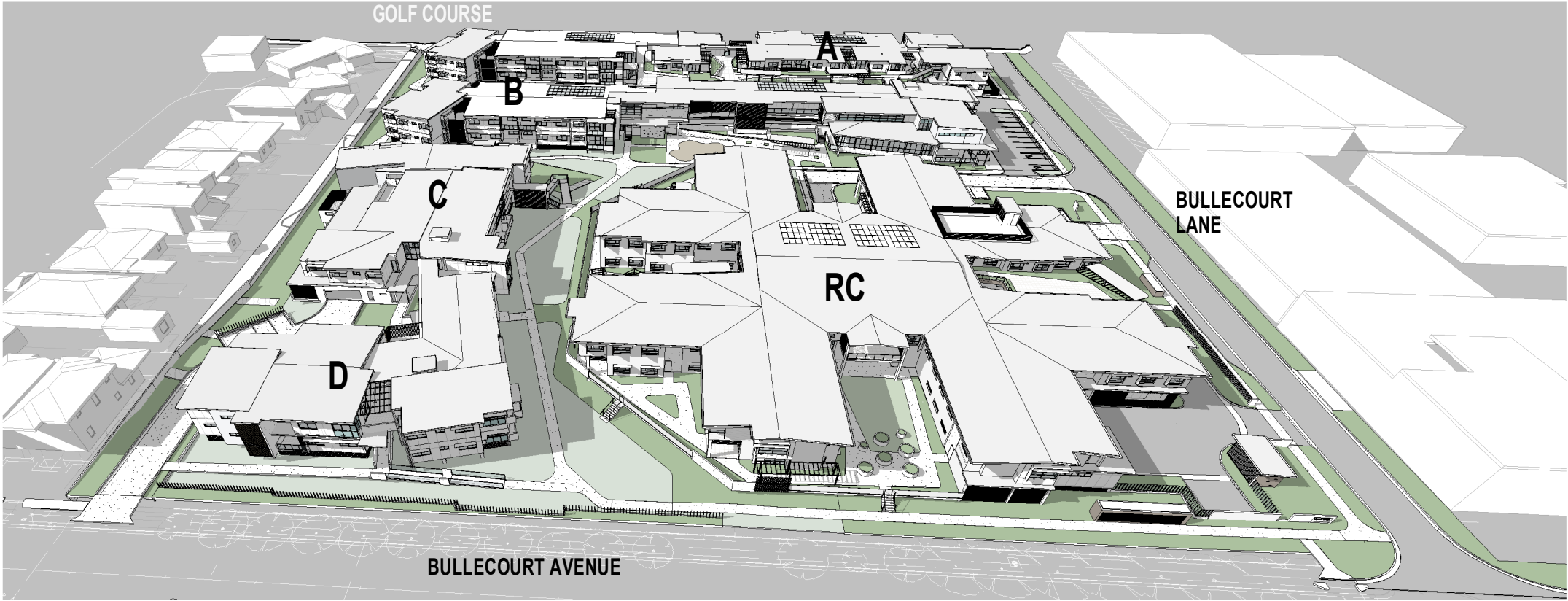
CLIENT:
ANGLICARE (ACS),
SYDNEY

PROJECT:
MILPERRA VILLAGE

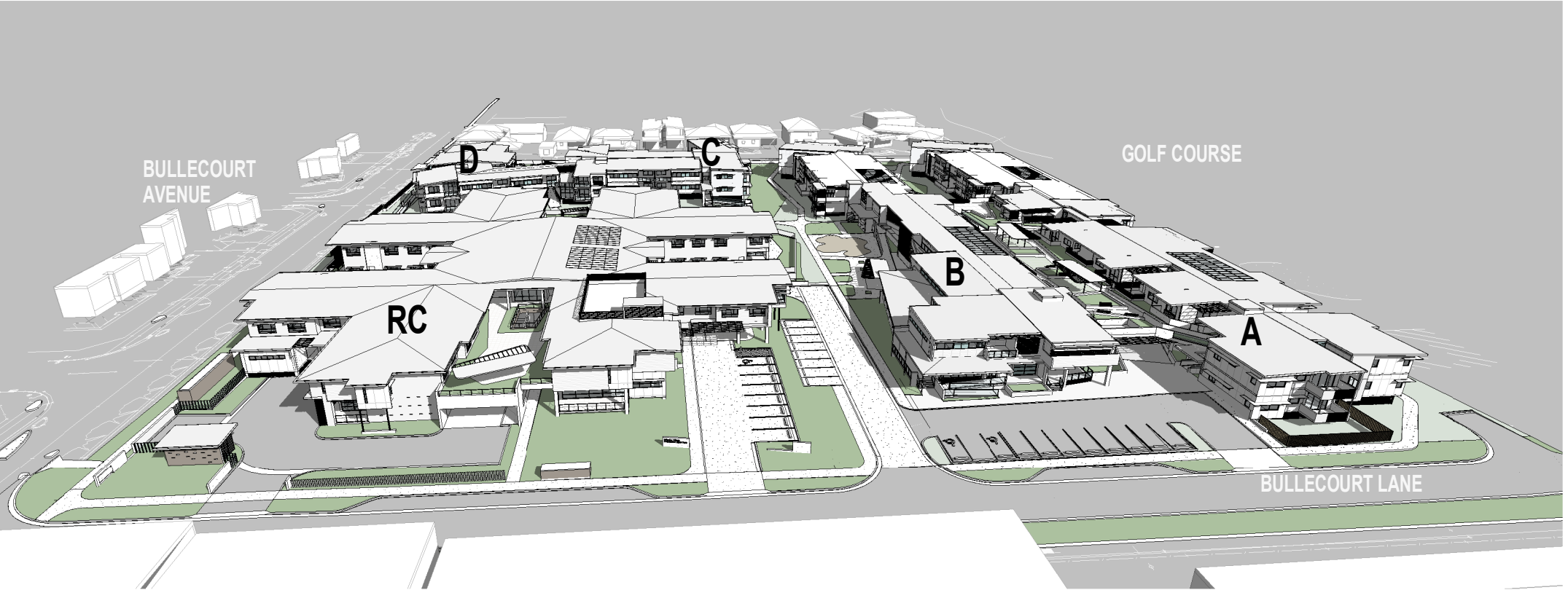
BULLECOURT AVENUE,
MILPERRA

DRAWING TITLE:
HEIGHT PLANE DIAGRAMS

DATE: JAN 29, 2019
FILE: 973_DA2_SITE_Central.rvt
PROJ: 973
DRAWING: DA.S.16
SCALE: @A1
CHECKED:
REVISION: DA2



1 MASSING MODEL: VIEW FROM SOUTH
SCALE: @A1



2 MASSING MODEL: VIEW FROM EAST
SCALE: @A1



DA1	29.01.19	DA ISSUE		ML	
REV	DATE	DETAILS		INITIALS	

© COPYRIGHT
THESE DRAWINGS AND DESIGNS AND THE
COPYRIGHT THEREOF ARE THE PROPERTY
OF BICKERTON MASTERS ARCHITECTURE PTY
LTD AND MUST NOT BE USED, RETAINED OR
COPIED WITHOUT THE WRITTEN PERMISSION
OF BICKERTON MASTERS ARCHITECTURE PTY
LTD ACN 109 225 149 TRADING AS BICKERTON
MASTERS ARCHITECTURE.
BICKERTON MASTERS ARCHITECTURE
ACCEPT NO RESPONSIBILITY FOR THE
USABILITY, COMPLETENESS OR ACCURACY
OF DATA TRANSFERRED ELECTRONICALLY.
RECIPIENTS SHOULD WHEN NECESSARY
REQUEST A HARD COPY VERSION FOR
VERIFICATION. USE FIGURED DIMENSIONS IN
PREFERENCE TO SCALE. ALL DIMENSIONS TO
BE VERIFIED ON SITE.



PH 07 3257 3622 FAX 07 3257 3677
99 BROOKES STREET PO BOX 552
FORTITUDE VALLEY QLD 4006

CLIENT:
ANGLICARE (ACS),
SYDNEY

PROJECT:
MILPERRA VILLAGE

BULLECOURT AVENUE,
MILPERRA

DRAWING TITLE:
SITE - MASSING MODEL - VIEW
FROM ABOVE

DATE:
JAN 29, 2019
FILE :
973_DA2_SITE_Central.rvt

PROJ:
973
DRAWING:
DA.S.20
REVISION:
DA1



ELEVATED VIEW FROM NORTH WITH APARTMENT BUILDING A IN FOREGROUND



ELEVATED VIEW FROM NORTH-EAST WITH APARTMENT BUILDING A IN FOREGROUND
(BULLECCOURT LANE IN VIEW)



EASTERN END OF BUILDING B WITH COMMUNITY AREAS IN LOWER LEVEL.



NORTH EAST CORNER OF RESIDENTIAL CARE BUILDING (RC) VIEWED FROM BULLECCOURT LANE



DA1	29.01.19	DA ISSUE		ML	
REV	DATE	DETAILS		INITIALS	

© COPYRIGHT
THESE DRAWINGS AND DESIGNS AND THE
COPYRIGHT THEREOF ARE THE PROPERTY
OF BICKERTON MASTERS ARCHITECTURE PTY
LTD AND MUST NOT BE USED, RETAINED OR
COPIED WITHOUT THE WRITTEN PERMISSION
OF BICKERTON MASTERS ARCHITECTURE PTY
LTD ACN 109 225 149 TRADING AS BICKERTON
MASTERS ARCHITECTURE.
BICKERTON MASTERS ARCHITECTURE
ACCEPT NO RESPONSIBILITY FOR THE
USABILITY, COMPLETENESS OR ACCURACY
OF DATA TRANSFERRED ELECTRONICALLY.
RECIPIENTS SHOULD WHEN NECESSARY
REQUEST A HARD COPY VERSION FOR
VERIFICATION. USE FIGURED DIMENSIONS IN
PREFERENCE TO SCALE. ALL DIMENSIONS TO
BE VERIFIED ON SITE.



PH 07 3257 3622 FAX 07 3257 3677
99 BROOKES STREET PO BOX 552
FORTITUDE VALLEY QLD 4006

CLIENT:
ANGLICARE (ACS),
SYDNEY

PROJECT:
MILPERRA VILLAGE

BULLECCOURT AVENUE,
MILPERRA

DRAWING TITLE:
PERSPECTIVE VIEWS &
MONTAGES 1

DATE:
JAN 29, 2019
FILE :
973_DA2_SITE_Central.rvt

PROJ:
973

DRAWN:

CHECKED:

DRAWING:
DA.S.21

SCALE:

1:1@A1

REVISION:

DA1



- EXISTING TREES TO BULLECOURT AVE VERGE - REFER ALSO TO SITE PHOTOS
- 2 STOREY RESIDENTIAL AGED CARE BUILDING
- ACCESS TO SERVICE AREA
- BULLECOURT LANE (NEW)
- NEW REFUGE / CROSSING POINT

PERSPECTIVE VIEW - CORNER OF BULLECOURT AVENUE AND BULLECOURT LANE



- EXISTING TREES TO BULLECOURT AVE - REFER ALSO TO SITE PHOTOS
- EXISTING 2 STOREY DUPLEX ADJACENT - MASSING MODEL FROM SURVEY
- BUILDING D - 2 STOREY RETIREMENT LIVING APARTMENTS

PERSPECTIVE VIEW - FROM BULLECOURT AVENUE (WEST)



DA1	29.01.19	DA ISSUE	ML
REV	DATE	DETAILS	INITIALS

© COPYRIGHT
THESE DRAWINGS AND DESIGNS AND THE
COPYRIGHT THEREOF ARE THE PROPERTY
OF BICKERTON MASTERS ARCHITECTURE PTY
LTD AND MUST NOT BE USED, RETAINED OR
COPIED WITHOUT THE WRITTEN PERMISSION
OF BICKERTON MASTERS ARCHITECTURE PTY
LTD ACN 109 225 149 TRADING AS BICKERTON
MASTERS ARCHITECTURE.
BICKERTON MASTERS ARCHITECTURE
ACCEPT NO RESPONSIBILITY FOR THE
USABILITY, COMPLETENESS OR ACCURACY
OF DATA TRANSFERRED ELECTRONICALLY.
RECIPIENTS SHOULD WHEN NECESSARY
REQUEST A HARD COPY VERSION FOR
VERIFICATION. USE FIGURED DIMENSIONS IN
PREFERENCE TO SCALE. ALL DIMENSIONS TO
BE VERIFIED ON SITE.



PH 07 3257 3622 FAX 07 3257 3677
99 BROOKES STREET PO BOX 552
FORTITUDE VALLEY QLD 4006

CLIENT:
ANGLICARE (ACS),
SYDNEY

PROJECT:
MILPERRA VILLAGE

BULLECOURT AVENUE,
MILPERRA

DRAWING TITLE:
PERSPECTIVE VIEWS &
MONTAGES 3

DATE:
JAN 29, 2019
FILE :
973_DA2_SITE_Central.rvt
PROJ:
973
DRAWING:
DA.S.23
REVISION:
DA1

RESIDENTIAL CARE BUILDING (RC)

- COLORBOND METAL ROOF, FACSIS & GUTTERS
- POWDERCOATED ALUM WINDOW AWNINGS
- ALUM FRAMED WINDOWS
- LINEA (FC) WEATHERBOARD & PAINTED FC PANEL CLADDING TO PROJECTING ELEMENTS ON UPPER LEVEL
- FACEBRICK TO MAIN 2 STOREY ELEMENTS
- 2 STOREY APARTMENT BUILDING IN BACKGROUND

COLORBOND METAL ROOF, FACIAS & GUTTERS

EXPRESSED JOINT MASONRY OR FC CLADDING (PAINT FINISH)

VERTICAL COLORBOND METAL CLADDING

END OF RAC BUILDING

POWDERCOATED ALUM WINDOWS

HORIZONTAL TIMBER FEATURE CLADDING UNDER VERANDAH

GLAZED ALUM VERANDAH BALUSTRADE

FACEBRICK ELEMENTS TO ENTRY AREA

NOTE:
REFER TO DRAWINGS DA.S.21 TO DA.S.23 FOR ADDITIONAL PERSPECTIVE VIEWS WITH LANDSCAPING & SURROUNDINGS.
REFER TO LARGER SCALE BUILDING ELEVATIONS FOR ADDITIONAL MATERIAL INFORMATION

2 STOREY APARTMENT BUILDINGS



COLORBOND METAL ROOF, FASCIAS & GUTTERS

COLORBOND VERTICAL METAL CLADDING ("WRAP OVER ROOF")

POWDERCOATED ALUM WINDOW AWNINGS

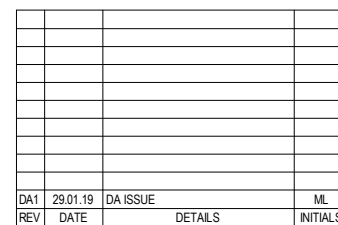
ALUM FRAMED WINDOWS

GLAZED ALUMINIUM BALUSTRADE

MASONRY OR EXPRESSED JOINT FC CLADDING WITH PAINT FINISH. (STRUCTURE VARIES)

MASONRY SOLID BALUSTRADE - PAINT FINISH

POWDERCOATED ALUM UNDERFLOOR SCREENING



© COPYRIGHT

THESE DRAWINGS AND DESIGNS AND THE COPYRIGHT THEREOF ARE THE PROPERTY OF BICKERTON MASTERS ARCHITECTURE PTY LTD AND MUST NOT BE USED, RETAINED OR COPIED WITHOUT THE WRITTEN PERMISSION OF BICKERTON MASTERS ARCHITECTURE PTY LTD ACN 109 225 149 TRADING AS BICKERTON MASTERS ARCHITECTURE.

BICKERTON MASTERS ARCHITECTURE ACCEPTS NO RESPONSIBILITY FOR THE USE OF OR COMPLIANCE WITH THE ACCURACY OF DATA TRANSFERRED ELECTRONICALLY. RECIPIENTS SHOULD WHEN NECESSARY REQUEST A HARD COPY VERSION FOR VERIFICATION. USE FIGURED DIMENSIONS IN PREFERENCE TO ALL DIMENSIONS TO BE VERIFIED ON SITE.



PH 07 3257 3622 FAX 07 3257 3677
99 BROOKES STREET PO BOX 552
FORTITUDE VALLEY QLD 4006

CLIENT:
**ANGLICARE (ACS),
 SYDNEY**

PROJECT:
MILPERRA VILLAGE

BULLECOURT AVENUE,
MILPERRA

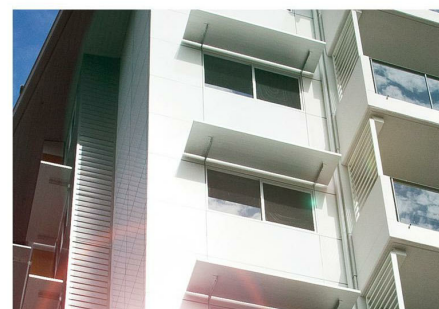
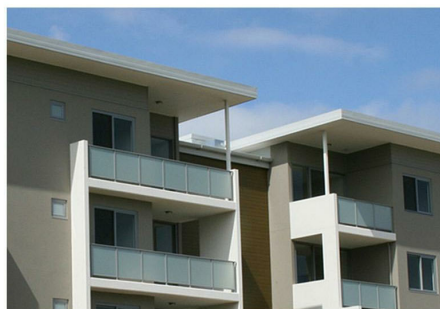
DRAWING TITLE:
MATERIALS & FENESTRATION -
PERSPECTIVE VIEWS

DATE: JAN 29, 2019
FILE : 973 DA2 SITE Central.rvt

DRAWN:
CHECKED:

SCALE:
@A1

PROJ: 973 DRAWING: DA.S.60 REVISION: DA1



DA1	29.01.19	DA ISSUE	ML
REV	DATE	DETAILS	INITIAL

© COPYRIGHT

THESE DRAWINGS AND DESIGNS AND THE COPYRIGHT THEREOF ARE THE PROPERTY OF BICKERTON MASTERS ARCHITECTURE PTY LTD AND MUST NOT BE USED, RETAINED OR COPIED WITHOUT THE WRITTEN PERMISSION OF BICKERTON MASTERS ARCHITECTURE PTY LTD ACH 109 225 149 TRADING AS BICKERTON MASTERS ARCHITECTURE.

BICKERTON MASTERS ARCHITECTURE ACCEPTS NO RESPONSIBILITY FOR THE USAGE, COMPLETENESS OR ACCURACY OF DATA TRANSFERRED ELECTRONICALLY. RECIPIENTS SHOULD WHEN NECESSARY REQUEST A HARD COPY VERSION FOR VERIFICATION. USE FIGURED DIMENSIONS IN PREFERENCE TO SCALE. ALL DIMENSIONS TO



PH 07 3257 3622 FAX 07 3257 3677
99 BROOKES STREET PO BOX 552
FORTITUDE VALLEY QLD 4006

CLIENT:
ANGLICARE (ACS),
SYDNEY

PROJECT:
MILPERRA VILLAGE

BULLECOURT AVENUE,
MILPERRA

DRAWING TITLE:
MATERIALS & FENESTRATION -
SAMPLE IMAGES

DATE: JAN 29, 2019
FILE : 973_DA2_SITE_Central.rvt
PROJ: 973
DRAWING: DA.S.61
SCALE: 1:1@A1
CHECKED:
REVISION: DA1